# PARKER BUILDING AND NEW CLASSROOM RENOVATION

for ALABAMA AGRICULTURAL AND MECHANICAL UNIVERSITY



**CONSTRUCTION DOCUMENT BID SET** 

APRIL 05, 2023
B.C. No: 2023079



ATLANTA OFFICE

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PARKER BUILDING AND NEW CLASSROOM RENOVATION

4900 Meridian Street N, Huntsville, AL 35811 for ALABAMA A&M

22006

Dwg. Coord.: Author Tech. Coord.: Checker

G0.00

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# DATE

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PARKER BUILDING AND **NEW CLASSROOM** RENOVATION 4900 Meridian Street N, Huntsville, AL 35811

**UNIVERSITY** Dwg. Coord.: Author Tech. Coord.: Checker SHEET INDEX,

ABBREV.,PROJECT INFORMATION

04.05.2023

22006

#### 1. APPLICABLE CODES

1.1 List of Applicable Codes and Standards

The City of Normal, Alabama has adopted the following International Codes and ordinances which are enforced by the Building Department, effective July 1. 2022.

#### APPLICABLE CODES

2021 INTERNATIONAL BUILDING CODE 2021 INTERNATIONAL PLUMBING CODE 2021 INTERNATIONAL FUEL GAS CODE 2021 INTERNATIONAL MECHANICAL CODE 2020 NATIONAL ELECTRIC CODE (NFPA 70) 2021 INTERNATIONAL FIRE CODE

2019 NATIONAL FIRE ALARM AND SIGNALING CODE (NFPA 72)
ASHRAE STANDARD 90.1-2013 ENERGY STANDARD FOR BUILDINGS EXCEPT LOW-RISE RESIDENTIAL BUILDINGS, WITH EXCEPTIONS PERMITTED TO:

6.5.1 - ECONOMIZERS 8.4.2 - AUTOMATIC RECEPTACLE CONTROL 8.4.3.- ELECTRICAL ENERGY MONITORING

2010 American with Disabilities Act Accessibility Guidelines. These requirements contained in the International Building Code and ANSI A117.1

# 1.2 List of Regulating Authorities

ALABAMA DIVISION OF CONSTRUCTION MANAGEMENT

#### 2. OCCUPANCY CLASSIFICATION

 Group A-3 - Assembly - (IBC Section 303.4; LSC Section 3.3.198.2) Group B - Business - (IBC Section 304.1; LSC Section 3.3.198.3)
 Group S-1 - Storage (IBC Section 311.1; LSC 3.3.198.15)

FUNCTION (IBC - TABLE 1004.5; NFPA 101 TABLE 7.3.1.2)	OCCUPANT LOAD FACTOR (IBC - TABLE 1004.5; LSC TABLE 7.3.1.2)
ASSEMBLY UNCONCENTRATED - TABLE/CHAIRS	15 SF PER PERSON - NET
BUSINESS (HIGHER EDUCATION)	150 SF PER PERSON
CLASSROOM	20 SF PER PERSON - NET
STORAGE	500 SF PER PERSON

#### 3. BUILDING AREA

CONSTRUCTION TYPE (IBC SECTION 602	2.2): II-B (0,0,0) - UI	NSPRINKLERED	
ACTUAL BUILDING AREA	4		ALLOWABLE BUILDING AREA
BUILDING AREA	OCCUPANCY	ACTUAL AREA PROVIDED PER STORY	ALLOWABLE FLOOR AREA PER LEVEL(IBC TABLE 506.2)
LEVEL 01 - PARKER BUILDING	CLASSROOM / BUSINESS	10,718.21 SF	23,000 SF
LEVEL 01 - PARKER ANNEX BUILDING	CLASSROOM / BUSINESS	10,768.54 SF	23,000 SF

# **4. BUILDING HEIGHT**

	_				
ACTU	IAL BUILDING HEIGHT			ALLOWABLE BUILI	DING HEIGHTS
	OCCUPANCY	HEIGHT	NUMBER OF STORIES	ALLOWABLE HEIGHT IN FEET (IBC TABLE 504.3)	ALLOWABLE NUMBER OF STORIES (IBC TABLE 504.4)
LEVEL 01 - PARKER BUILDING	BUISNESS (HIGHER ED)	30'-0 "(EXIST)	1 (EXISTING)	55 FEET	3 STORIES
LEVEL 01 - PARKER ANNEX BUILDING	BUISNESS (HIGHER ED)	30'-0 "(EXIST)	1 (EXISTING)	55 FEET	3 STORIES

## 5. OCCUPANCY SEPERATION REQUIREMENTS

BUILDING IS CLASSIFIED AS NONSEPARATED OCCUPANCIES IN ACCORDANCE WITH IBC SECTION 508.3

#### 6. EGRESS RELATED REQUIREMENTS

MINIMUM CORRIDOR WIDTH	EXCEPTION 1), BUT	R WIDTH = 0.2 INCH PER OCC NOT LESS THAN <b>44 INCHES;</b> DAD OF LESS THAN 50 OR WI 20.2).	EXCEPT 36 INCHES
DEAD END CORRIDORS NOT TO EXCEED (IBC 1020.4; LSC ASSEMBLY 13.2.5.3; LSC BUSINESS 39.2.5.3; STORAGE, TABLE 42.2.5)	A, B S (LOW HAZARD)	20'-0" 20'-0" NL	
MAXIMUM TRAVEL DISTANCES (IBC TABLE 1017.2; LSC 12.2.5.1.3)	A B S (LOW HAZARD)	<b>200'-0"</b> <b>200'-0"</b> NL	
NUMBER OF EXITS (IBC 1006.2.1)	OCCUPANT LOAD 1 - 500 * 501 - 1,000 MORE THAN 1000 *ONE EXIT ALLOWEI	, OR SPACES, INCLUDING MESS DOORWAYS (IBC 1006.2.  NUMBER OF EXITS 2 3 4 D, IF BOTH MAXIMUM OCCUP TRAVEL ARE MET AS LISTED  MAX OCCUPANT LOAD 49 49 49 29	ANT LOAD AND MAXIMUM
ARRANGEMENT OF EXITS (IBC 1006.2)	OR INTERVENING R	OOMSOR AREAS, EXCEPT W	PASS THROUGH AN ADJOINING HERE SUCH ADJOINING ROOMS BARY TO ONE OR THE OTHER.
MINIMUM DOOR WIDTH		OTH = 0.15 IN CH PER OCCUP HAN 32 INCHES (IBC 1010.1.1)	ANT (IBC 1005.3.2, EXCEPTION #
MINIMUM CLEAR OPENING	32 INCHES		

# 7. INTERIOR FINISH REQUIREMENTS

CLASS	FLAME SPREAD IND	FΧ	SMOKE	DEVELOPMENT INDE
				-
Α	0 - 25			0 - 450
В	26 - 75			0 - 450
С	76 - 200			0 - 450
WALL AND CEILING FINISHES				
	FI	INISH CLASSIF	CATION	
OCCUPANCY / USE	EXIT ENCLOSURE	CORR	DORS	ROOMS
ASSEMBLY A-3	В		В	С
BUSINESS	В		С	С

#### **8. PORTABLE FIRE EXTINGUISHERS**

PORTABLE EXTINGUISHERS ARE REQUIRED PER , IBC TABLE 906.1	
MAXIMUM FLOOR AREA PER EXTINGUISHER TABLE IBC 906.3 (1)	11,250 SF
MAXIMUM DISTANCE OF TRAVEL TO EXTINGUISHER TABLE IBC 906.3 (1)	75 SF

#### 9. SOUND TRANSMISSION

ICC A117.1 - SECTION 808 CLASSROOMS NOT EXCEEDING 20,000 CUBIC FEET AND REQUIRED TO PROVIDE ACOUSTICS SHALL COMPLY WITH SECTION 808.

CLASSROOM REVERBERATION TIME SHALL COMPLY WITH EITHER ECTION 808.2.1. OR SECTION 808.2.2, DEPENDING ON THE SIZE OF THE ROOM. 808.2.1 PERFORMANCE METHOD FOR EACH OF THE OCTAVE FREQUENCY BANDS WITH CENTER FREQUENCIES OF 500, 1000, AND 2000 HZ., THE

REVERBERATION TIME (T60) SHALL NOT EXCEED THE TIMES SEPCIFIED BELOW:

1.) 0.6 SECONDS IN CLASSROOMS WITH VOLUMES UP TO AND INCLUDING 10,000 CUBIC FEET.

CLASSROOM AMBIENT SOUNDS LEVEL SHALL COMPLY WITH SECTIONS 808.3.1 AND 808.3.2 808.3.1 SOUND SOURCES OURSIDE THE CLASSROOM CLASSROOM AMBIENT SOUND LEVELS SHALL NOT EXCEED 35 DBA AND 55dBC DUE TO THE INTRUDING NOISE FROM SOUND SOURCES OUTSIDE THE CLASSROOM, WHETHER FROM THE EXTERIOR OR FROM THE INTERIOR SPACES. 808.3.2 SOUND SOURCES INSIDE THE CLASSROOM CLASSROOM AMBIENT SOUND LEVELS SHALL NOT EXCEED 35 dBA AND 55dBC FOR NOISE FROM SOUND SOURCES INSIDE THE

#### 10. FIRE RESISTANCE RATINGS

TYPE IIB CONSTRUCTION		
	RATING (HOURS)	COMMENTS
STRUCTURAL FRAME	0	
BEARING WALLS:		
EXTERIOR	0	
INTERIOR	0	
NON -BEARING WALLS: EXTERIOR	0	
INTERIOR	0	
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOINTS	0	
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOINTS	0	
FIRE SEPARATION		

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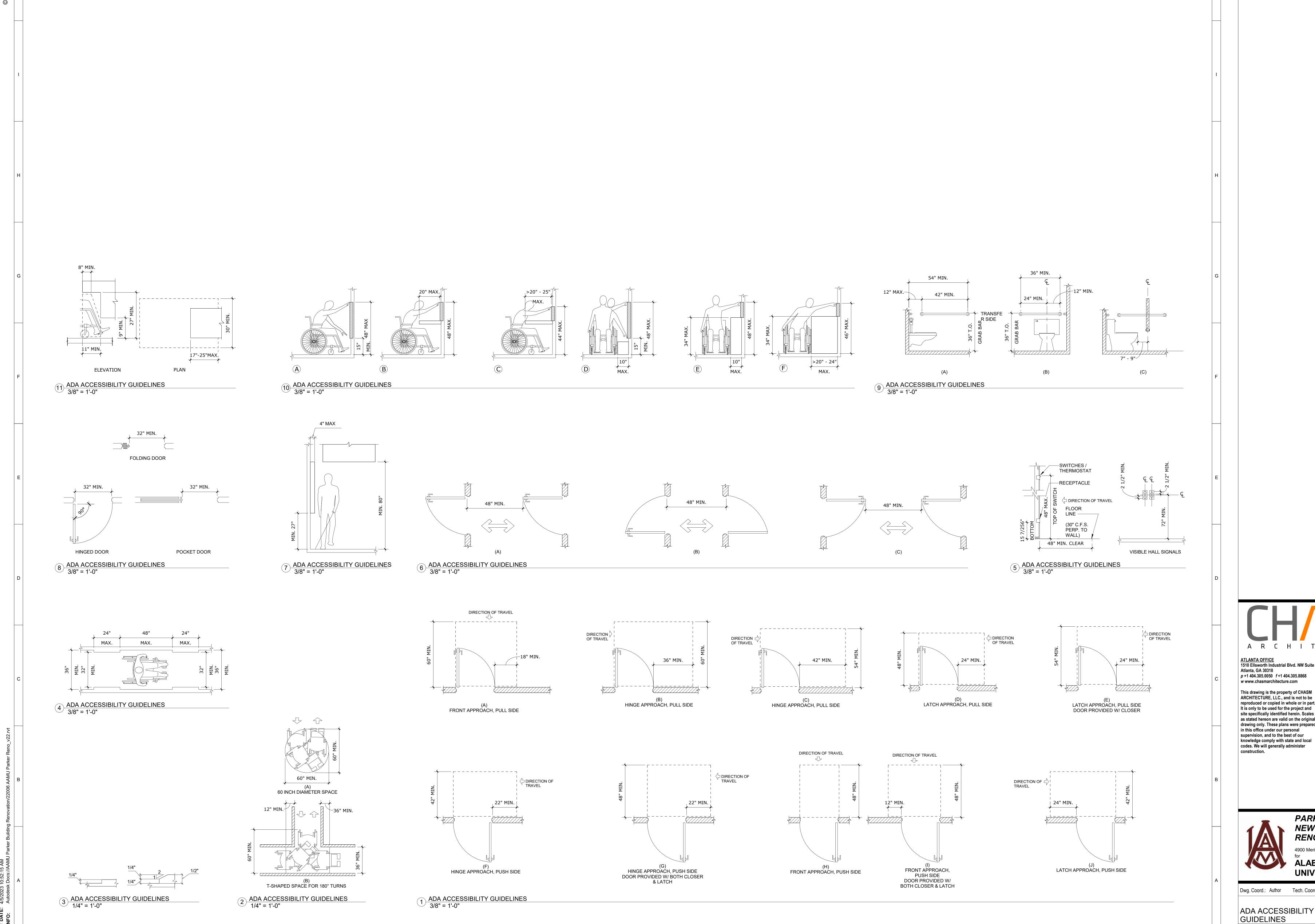
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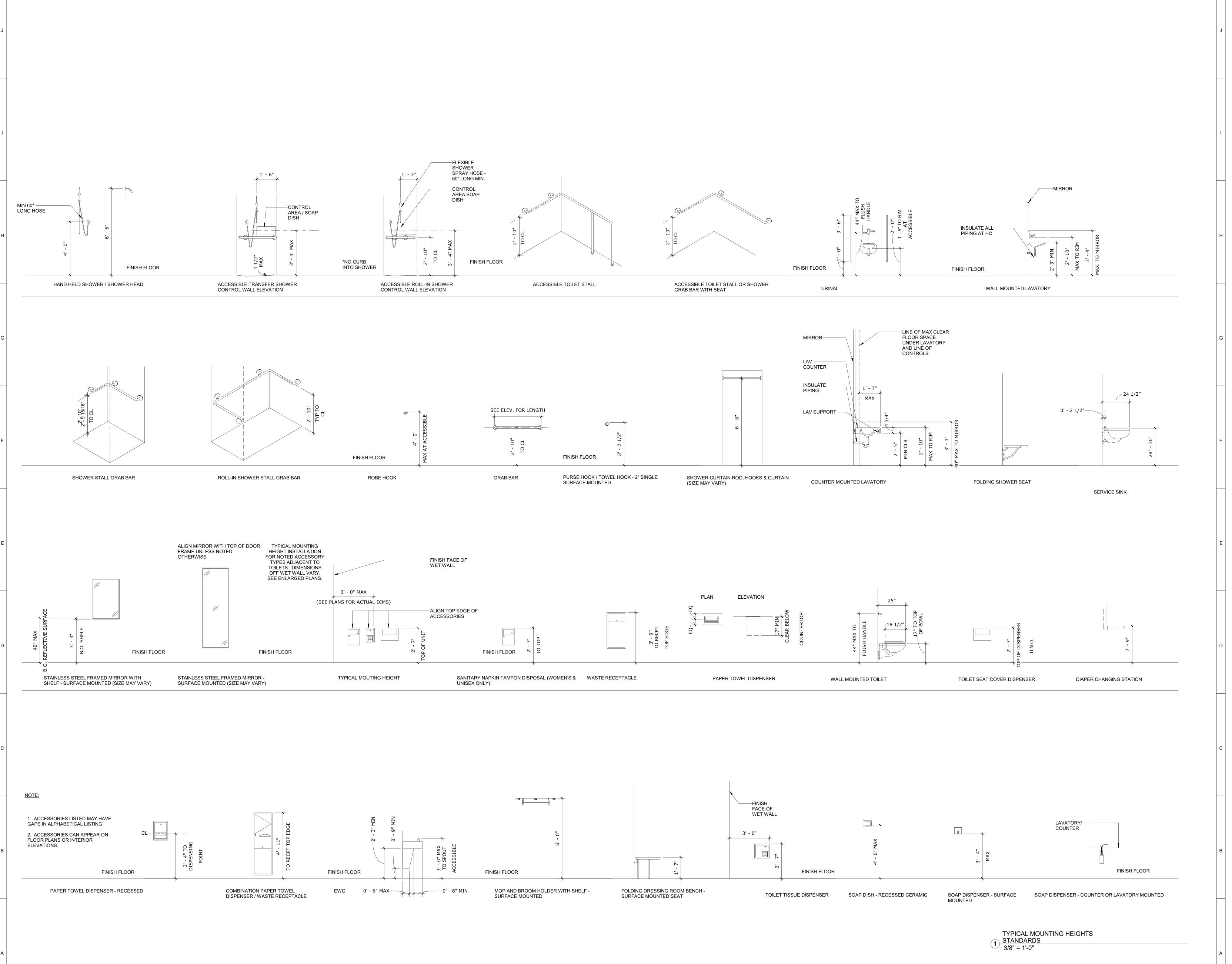


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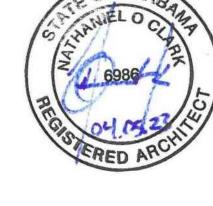


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ADA TYPICAL STANDARDS

		1	2	3	4		5	6	
				INT	ERIOR FINISH LEGEN	ID			·
	CODE	DESCRIPTION	MANUFACTURE	R NAME	ITEM#	COLOR / FINISH	DIMENSIONS / INSTA	\LL C	OMMENTS
	ACT-01	ACOUSTICAL CEILING	TILE ARMSTRONG	FINE-FISSURED		WHITE (WH)	24" X 24"		
	GR-01	GROUT - WALL	LATICRETE	PERMACOLOR	89	SMOKE GREY			
J	GR-02	GROUT - FLOOR	LATICRETE	PERMACOLOR	60	DUSTY GREY			
	LVT-01	LUXURY VINYL TILE	SHAW CONTRACT	GRAIN	64720	BARK	INSTALL: DIRECT GLUE		
	PL-01	PLASTIC LAMINATE	ARBORITE	LIMOUSINE GREY	S-542 CA				
	PT-01	PAINT - GENERAL	SHERWIN WILLIAMS	AGREEABLE GRAY	SW 7029	EGGSHELL			
	PT-02	PAINT - CEILING	SHERWIN WILLIAMS	CUSTOM - AGREEABLE G	RAY -	FLAT		1/4 AGREEABLE	GRAY, 3/4 WHITE
	PT-03	PAINT - FRAMES	SHERWIN WILLIAMS	CUSTOM - BULLDOG MAR	ROON -	SEMI-GLOSS			
	RB-01	RUBBER BASE	FLEXCO	BASE 2000	072	CHOCOLATE			
	SS-01	SOLID SURFACE	CORIAN	SILVER BIRCH					
	TF-01	TILE FLOOR	MARAZZI	SABBIA MARMO	SB42	DARK GREY	12" X 24"/ INSTALL: STACKE	ED RESTROOMS	
	TP-01	TOILET PARTITION	GENERAL PARTITIONS	S 40-FLOOR SUPPORTED	250	ONYX	HIGH DENSITY POLYMER		
	TW-01	TILE WALL	MARAZZI	MARBLE OBSESSION	MB22	GRIGIO/ POLISHED	12" X 24"/ INSTALL: STACKE HORIZONTAL	ED RESTROOMS	
ı	VCT-01	VINYL COMPOSITION 7	TILE ARMSTRONG	EXCELON	51836	SHELTER WHITE	12" X 12"		
•	VCT-02	VINYL COMPOSITION 7	TILE ARMSTRONG	EXCELON	51904	STERLING	12" X 12"		
	VCT-03	VINYL COMPOSITION 7	TILE ARMSTRONG	EXCELON	51943	CAYENNE RED	12" X 12"		

#### **DEMOLITION NOTES:**

- THE CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS TO COMPLETE DEMOLITION. REMOVAL AND RE-USE OF OF ANY ITEMS IS SHOWN ON THE DRAWINGS.
- THE CONTRACTOR SHALL PROTECT THE EXISTING TO REMAIN OWNER'S PROPERTY. INCLUDING BUT LIMITED TO CURTAIN WALL, FLOORS, CEILINGS, TOILETS, DOORS, FRAMES, AND ELECTRICAL
- THE CONTRACTOR SHALL REMOVE CONDUITS, WIRING, ETC. TO THEIR SOURCE AFTER DEMOLITION.
- THE CONTRACTOR SHALL COMPLY WITH ALL OWNER'S RULES AND REGULATIONS REGARDING
- DEMOLITION WORK. CONSULT OWNER PRIOR TO DEMOLITION.
- THE CONTRACTOR SHALL EXERCISE CARE IN REMOVAL OF ANY COMPONENTS (I.E. DOORS, FRAMES, FIXTURES, CEILING TILES) WHICH MAY BE RE-USED IN THIS OR FUTURE PROJECTS.
- THE CONTRACTOR SHALL COORDINATE THE STORAGE OF SALVAGEABLE BASE BUILDING MATERIALS WITH THE BUILDING OWNER UNTIL COMPLETION OF THE PROJECT. DISPOSAL OF ALL UN-USED ITEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE THE SCHEDULING OF LOUD OR DISRUPTIVE DEMOLITION WORK TO AVOID REGULAR BUINESS OR CLASS HOURS.

#### FINISH PLAN GENERAL NOTES

NO SUBSTITUTIONSOF MATERIALS SHALL BE ACCEPTED WITHOUT ARCHITECT'S WRITTEN APPROVAL

OF PAINT UNTIL PAINT FILM IS OF UNIFORM FINISH, COLOR AND APPEARANCE.

- CONTRACTOR SHALL EXAMINE JOB SITE PRIOR TO BEGINNING INSTALLATION OF FINISHES, AND NOTIY ARCHITECT OF ANY EXISTING CONDITIONS WHICH DO NOT MATCH THOSE SHOWN ON THE DRAWING AND ALTER THE FINISH APPLICATION AS
- CONTRACTOR SHALL INSTALL ALL PAINT, WALL COVERING, FLOOR COVERING, AND OTHER FINISH MATERIALS IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.
- ALL SURFACES RECEIVING NEW FLOOR ING OR WALL FINISHES SHALL BE SMOOTH EVEN AND FREE OF DEFECTS. SURFACES NOT MEETING SUBSTRATE CONDITIONS SHALL BE REPAIRED. PROVIDE LEVEL 4 FINISH AT PARTITIONS TO RECEIVE PAINT AND / OR WALL COVERING.
- ALL INTERIOR DOORS SHALL BE BUILDING STANDARD, UNLESS NOTED OTHERWISE IN PROJECT DOCUMENTS. CONTRACTOR TO MATCH BUILDING STANDARD FINISH.
- ALL MISCELLANEOUS GRILLES, FIRE EXTINGUSHER CABINETS, PLATES, ETC. SHALL BE PAINTED IN A SEMI-GLOSS FINISH TO MATCH THE COLOR OF THE SURFACES ON WHICH THEY OCCUR.
- ALL PAINT SURFACES SHALL RECEIVE A MINMUM OF ONE PRIME COAT AND TWO FINISH COATS. PRIME ALL SURFACES ACCORDING TO THE MANUFACTURERS' WRITTEN INSTRUCTION. THE NUMBER OF COATS SPECIFIED IS THE MINIMUM NUMBER REQUIRED. APPLY ADDITIONAL CAOTS WHEN UNDERCOATS OR OTHER CONDITIONS SHOW THROUGH FINAL COAT
- CONTRACTOR SHALL PAINT UNDERSIDE OF SOFFITS THE SAME COLOR AS FACE OF SOFFIT, UNLESS NOTED OTHERWISE.
- PAINT / WALL COVERING CONTRACTOR SHALL SUBMIT (3) THREE 12" X 12" SAMPLESOF EACH SPECIFIED FINISH SHOWING COLOR AND FINISH TO ARCHITECT FOR APPROVAL.
- ALL PAINTS AND COATINGS APPLIED ON-SITE SHALL MEET THE LIMITATIONS AND RESTRICTIONSCONCERNING CHEMICAL COMPONENTS SET BY THE FOLLOWING STANDARDS: TOPCOAT PAINTS - GREEN SEAL STANDARD GS-11, PAINTS, FIRST EDITION, MAY 20 1993; ANTI CORROSIVE AND ANTI-RUST PAINTS- GREEN SEAL STANDARD GS-03, ANTI-CORROSIVE PAINTS SECOND EDITION, JANUARY 7, 1997, FOR APPLICATIONS ON FERROUS METAL SUBSTRATES; ALL OTHER ARCHITECTURAL COATINGS, PRIMERS AND UNDERCOATS - SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) RULE 1113 ARCHITECTURAL COATINGS, RULES IN EFFECT ON JANUARY 1, 2004.
- ALL WALLS RECEIVING WALL COVERING SHALL BE PRIMED WITH A LATEX WALL PRIMER, PER MANUFACTURERE'S RECOMMENATIONS PRIOR TO APPLICATION.
- CONTRACTOR SHALL INSTALL WALL COVERING WITH SEAM VERTICAL AND PLUMB. NO HORIZONTAL SEAMS ARE
- ALL WALLCOVERING PATTERNS SHALL BE MATCHED.

ACCEPTABLE.

- ALL WALL COVERINGS SHALL BE STORED IN A DRY AREA IN ORIGINAL CONTAINERS WITH LABELS INTACT. ROLLS OF FABRIC AND VINYL WALL COVERING SHOULD BE STORED HORIZONTALLY TO PREVENT DAMGE OF ROLLED EDGES. ALLOW MATERIAL TO ACCLIMIZE TO THE AREA OF INSTALLATION 24 HOURS BEFORE APPLICATION.
- BUTT RESILIENT TILES TIGHTLY TO ADJACENT VERTICAL SURFACES, THRESHOLDS, NOSINGS, AND EDGINGS. SCRIBE AROUND OBSTRUCTION, EXTEND TILES INTO TO SPACES, DOOR REVEALS, CLOSETS AND SIMILAR OPENINGS. ASSUME ANY PATTERN SHOWN ON FINISH PLAN TO CONTINUE IN THE INIDICATED MANNER UNDR ANY FREE STANDING EQUIPMENT (SUCH AS COPY MACHINES AND EFRIGERATORS).
- CONTRACTOR SHALL INSTALL RESILIENT TILES WHERE PATTERN/GRAIN RUNS THE SAME DIRECTION. MATCH TILES FOR PATTERN AND COLOR BY USING TILES FROM CARTONS IN SAME SEQUENCE AS MANUFACTURED AND PACKAGED.
- CONTRACTOR SHALL INSTALL RESILIENT BASE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. PROVIDE TIGHTLOCK BOTTOM EDGE BASE IN ALL AREAS, UNLESS OTHERWISE DESIGNATD. PROVIDE PREFORMED EXTERNAL CORNERS AT ALL CORNERS WHERE COVE BASE IS INSTALLED. JOIN ALL INSIDE CORNERS WITH MITERED SEAMS IN LIEU OF PREFORMED INTERNAL CORNERS. RUBBER BASE SECTION LESS THAN 12" IN LENGTH ARE NOT ACCEPTABLE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ATTIC STOCK EQUAL TO 5% OF THE QUANTITY OREDERED FOR EACH MATERIAL SPECIFIED. PROVIDE ATTIC STOCK OF (1) CARTON EACH TYPE AND COLOR OF VINYL TILE, RESILIENT TILE AND RESILIENT TILE BASE SPECIFIED. CONTRACTOR SHALL SALVAGE ANY UNUSED RESILIENT TILE, BASE AND ANY UNUSED WALL COVERING. ALL MATERIALS FOR ATTIC STOCK SHALL BE FROM THE SAME DYE LOT AS MATERIAL STORE MATERIALS AS DIRECTED BY TENANT.

#### **PARTITION GENERAL NOTES**

ALL DIMENSIONS INDICATED ON PLANS ARE FINISHE FACE OF EXISTING PARTITION FINISHED FACE OF NEW PARTITION OR FINISHED FACE TO FINISHED FACE OF NEW PARTITIONS, UNLESS NOTED OTHERWISE. IT IS THE CONTRACTOR'S RESPONSIBILTY TO CALL SPECIFIC DIMENSION DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT / INTERIOR DESIGNER TO OBTAIN DIMENSION CLARIFICATION AND APPROVAL TO PROCEED WITH WORK.

- CENTERLINE OF NEW PARTITIONS SHALL ALIGN WITH CENTER OF PERIMETER WINDOW MULLION. BUILDING STANDARD MULLION CONNECTION SHALL BE UTILIZED, UNLESS OTHERWISE NOTED ON PROJECT DOCUMENTS.
- WHERE NEW PARTITONS ARE BUILT TO ALIGN WITH ONE SIDE OF EXISTING PARTITION, STUDS SHALL ALIGN SO THAT THE GYPSUM WALL BOARD IS CONTINUOUS ACROSS STUDS AND FACE, AND THE JUNCTION SHALL BE FLUSH AND SMOOTH.
- ALL WOOD USED ON PROJECT SHALL BE FIRE RETARDED TREATED LUMBER.
- THE CONTRATOR TO PROVIDE FIRE RETARDANT WOOD BLOCKING WITHIN PARTITION CAVITIES AT ALL MILLWORK, WALL OR CEILING MOUNTED ITEM LOCATIONS AS REQUIRED TO SUPPORT WORK LOAD. THIS INCLUDES BUT IS NOT LIMITE TO SHELVES, STANDARDS, COAT RODS, AV CABINETS, AND WALL HUNG CABINETS AS INDICATED ON DRAWINGS.
- ALL FASTENINGS AND ATTACHMENTS SHALL BE FULLY CONCEALED FROM VIEW.
- DOOR FRAMES SHALL BE LOCATED 4" FROM FACE OF ADJACENT PARTITION TO INSIDE FACE OF JAMB, UNLESS NOTED OTHERWISE.
- ALL RATED PARTITIONS SHALL BE PERMANENTLY IDENTIFIED IN A MANNER ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION. STENCILING (MIN 2" HIGH) AS EXAMPLE: "FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS" AND BE PLACED ABOVE THE CEILING OR IN A CONCEALED

## REFLECTED CEILING PLAN NOTES

THESE DRAWINGS REPRESENT LIGHTING LOCATIONS, TYPES, AND QUANTITIES ONLY AND ARE NOT INTENDED TO DICTATE NUMBERS OF FIXTURES ON A CIRCUIT. REFERENCE ELECTRICAL SUBCONTRACTOR'S DRAWINGS FOR CIRCUITING LAYOUTS. REFERENCE HVAC ENGINEERS

DRAWINGS FRO HVAC REQUIREMENTS AND GRILLE/ DIFFUSER LAYOUTS.

- DUE TO ACTUAL FIELD LOCATIONS OF EXISTING DUCTWORK OR OTHER ELEMNETS, THERE MAY BE CONFLICTS WITH INTENDED NEW LIGHT FIXTURE LOCATIONS. CONTACT THE ARCHITECT WHEN CONFLICTS OCCUR PRIOR TO PROCEEDING WITH WORK.
- CONTRACTOR TO SUBMIT CUT SHEETS AND TECHNICAL DATA ON ALL LIGHT FIXTURES SPECIFIED TO ARCHITECT PRIOR TO PURCHASE. REPLACEMENT OF LIGHT FIXTURES NOT SUBMITTED TO AND APPROVED BY ARCHITECT SHALL BE CONTRACTOR'S EXPENSE.
- 4. ALL RECESSED OR SURFACE MOUNTED FIXTURES SHALL BE LOCATED IN THE CENTER OF CEILING TILES, UNLESS NOTED OTHERWISE.
- ALL SIMILAR FIXTURES SHALL HAVE THE SAME LAMP TYPE, BRAND, WATTAGE, AND COLOR. ALL FLUORESCENT LAMPS SHALL BE BUILDING STANDARD.
- TWO OR MORE LIGHT SWITCHES IN THE SAME LOCATION SHALL BE GANGED TOGETHER WITH ONE COMMON COVER PLATE, UNLESS NOTED OTHERWISE. DISTANCE BETWEEN TWO OUTLET PLATES INSTALLED SIDE BY SIDE SHALL NEVER EXCEED 6".
- ALL SWITCH COVER PLATES AND DEVICES MATCH TENANT/ BUILDING STANDARDS, UNLESS NOTED
- ALL NEW OR EXISTING EQUIPMENT, HVAC, ELECTRICAL, AND PLUMBING EQUIPMENT SHALL BE FREE OF DEFECTS. ANY DAMANGED OR DEFECTIVE EQUIPMENT, WHETHER BUIDLING STANDARD OR SPECIAL ORDER, SHALL BE REPLACED.
- CONTRACTOR SHALL INSURE THAT LENSES IN LIGHTING FIXTURES ARE LEFT CLEAN, AND FREE OF DUST, DIRT, AND SMUDGES. PLASTIC LABELS SHALL BE REMOVED FROM FIXTURES AT PROJECT
- 10. EXIT SIGNS WITH DIRECTIONAL ARROWS SHALL BE PROVIDED WHERE NECESSARY TO MEET ALL APPLICABLE CODES. SEE REFLECTED CEILING PLANS FOR LOCATIONS. EXIT SIGNS SHALL BE WIRED TO THE EMERGENCY GENERATOR. IN THE EVENT THAT A GENERATOR IS NOT AVAILABLE, CONTRACTOR SHALL PROVIDE ALL EMERGENCY FIXTURES WITH BATTERY PACKS.
- 11. EMERGENCY EGRESS LIGHTING SHALL BE LOCATED TO MEET ALL APPLICABLE CODES. FLUORESCENT FIXTURES SHALL BE WIRED TO BUILDING EMERGENCY CIRCUIT OR EQUIPPED WITH WITH A BATTERY PACK. REFER TO THE SUBCONTRACTOR OR ENGINEER'S DRAWINGS FOR LOCATIONS. EMERGENCY FIXTURES TO BE PLACED SO THAT THE PATH OF EXIT TRAVEL IS ILLUMINATED CONTINUOUSLY AT LEVEL OF NO LESS THAN 1 FOOT CANDLE WHEN MEASURED AT ANY GIVEN POINT ON FLOOR LEVEL AT PATH OF EXIT ACCESS.
- 12. WHEN A FIXTURE MUST SPLIT THE GRID IN ORDER TO CENTER ON WALL OR ARCHITECTURAL ELEMENT, CONTRACTOR SHALL COORDINATE AND PROVIDE SPECIAL FRAMING AS REQUIRED IN ORDER TO CENTER LIGHT FIXTURES. NOTIFY DESIGNER OF ANY CONFLICTS OR QUESTIONS.
- 13. ALL CEILING SURFACES SHALL BE RESTORED TO UNIFORM FINISH APPEARANCE FOLLOWING ANY CUTING AND PATCHING REQUIRED.



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# DATE

12

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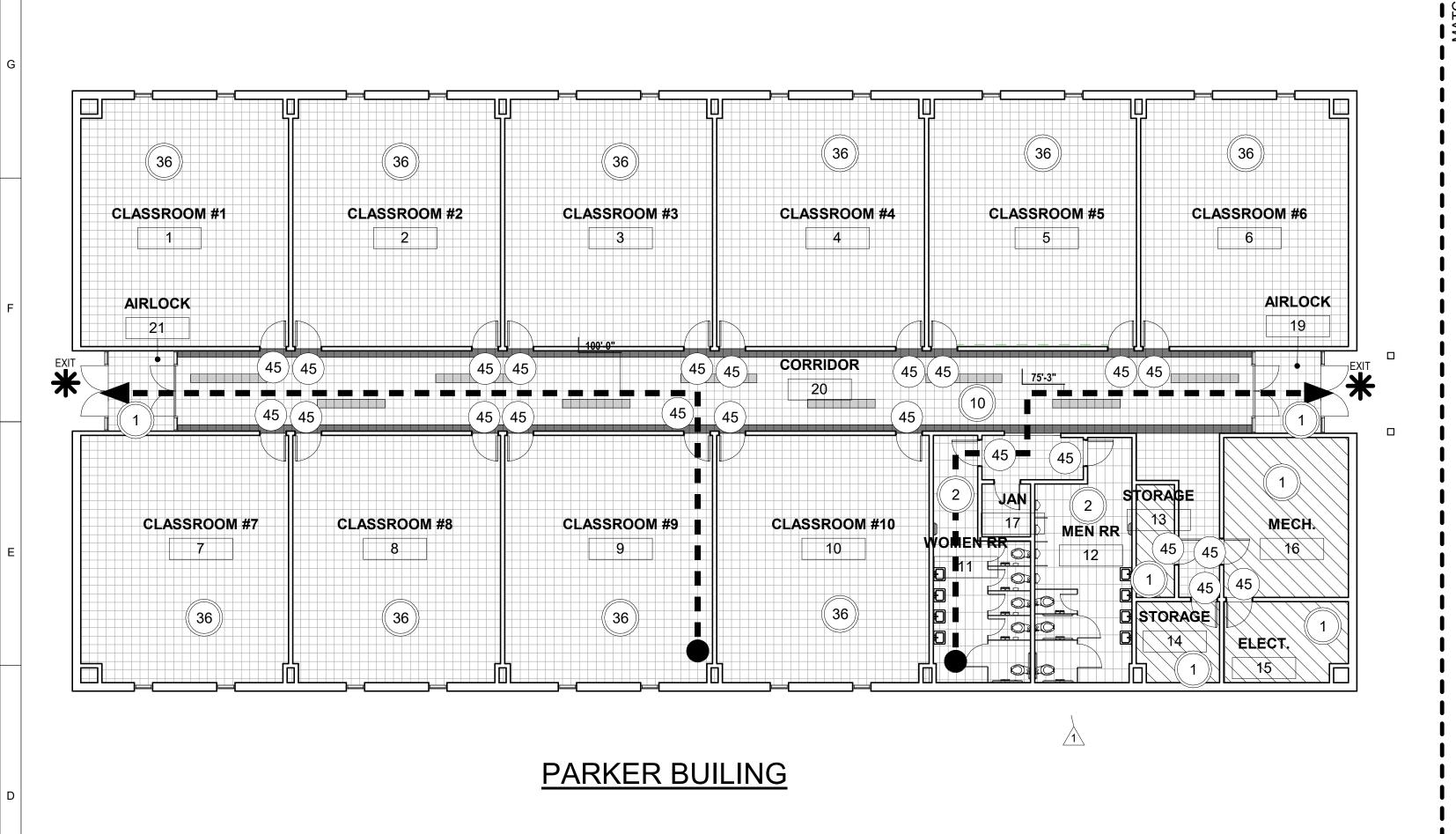
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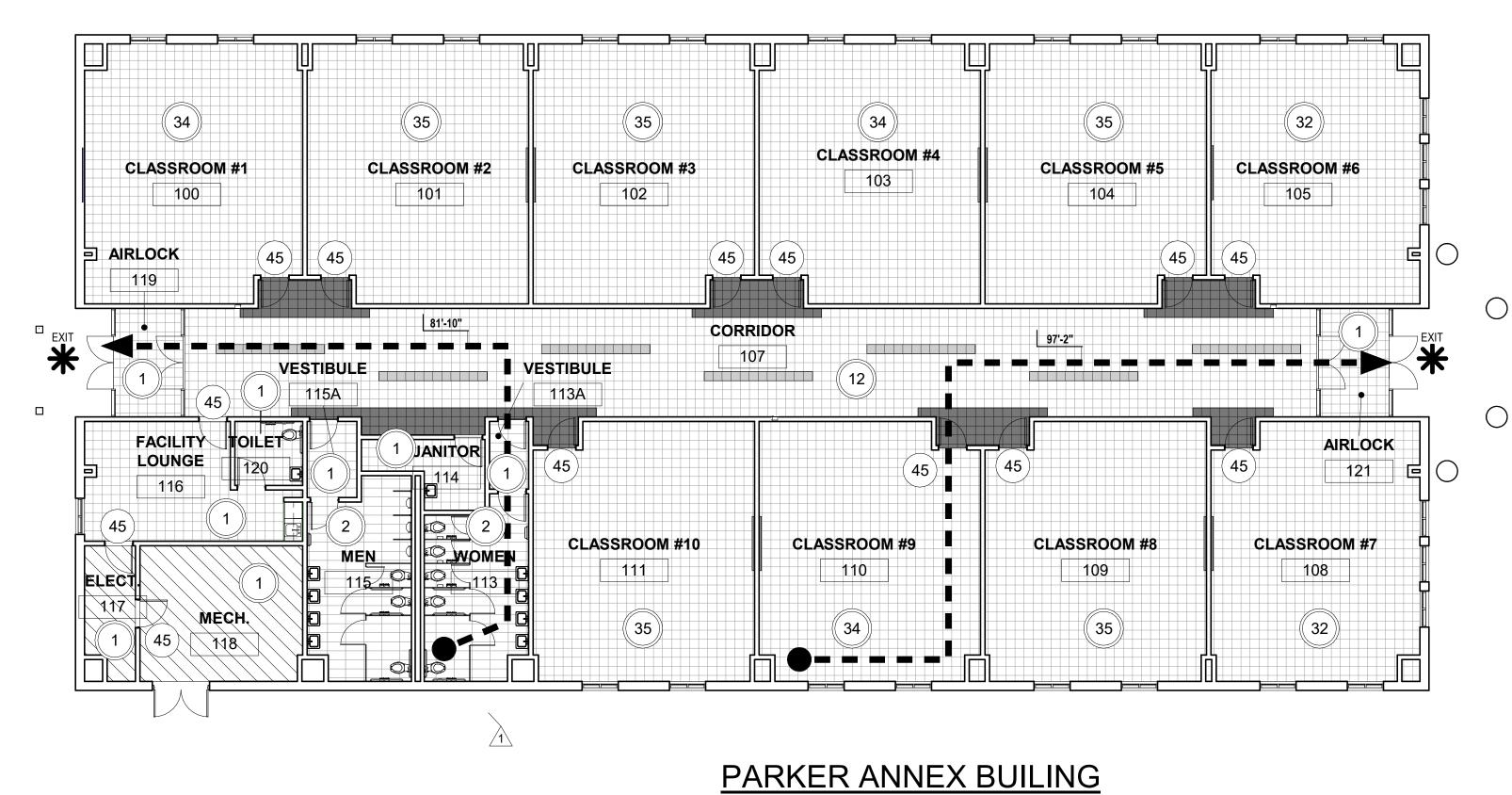
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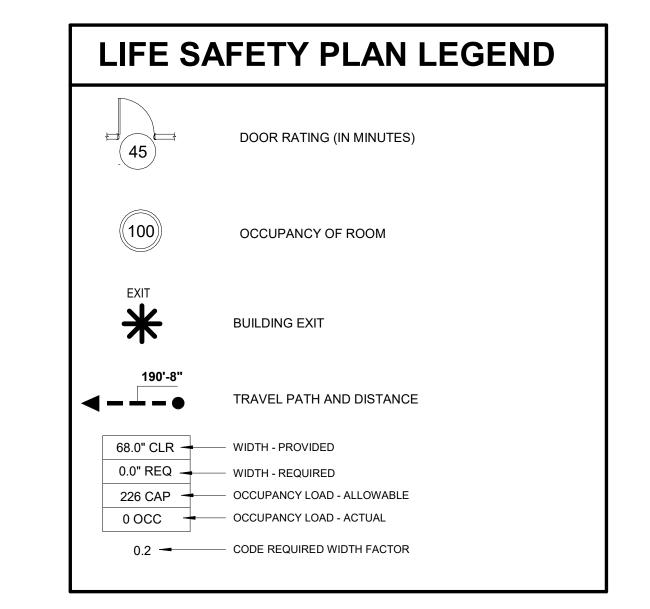
22006

GENERAL NOTES AND LEGENDS





LEVEL 1 - OVERALL LIFE SAFETY FLOOR
PLAN
1" = 10'-0"





**CHANGE DESCRIPTION** 

03/13/23 1st Revised Final

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PARKER BUILDING AND NEW CLASSROOM RENOVATION 4900 Meridian Street N, Huntsville, AL 35811 **ALABAMA A&M** UNIVERSITY

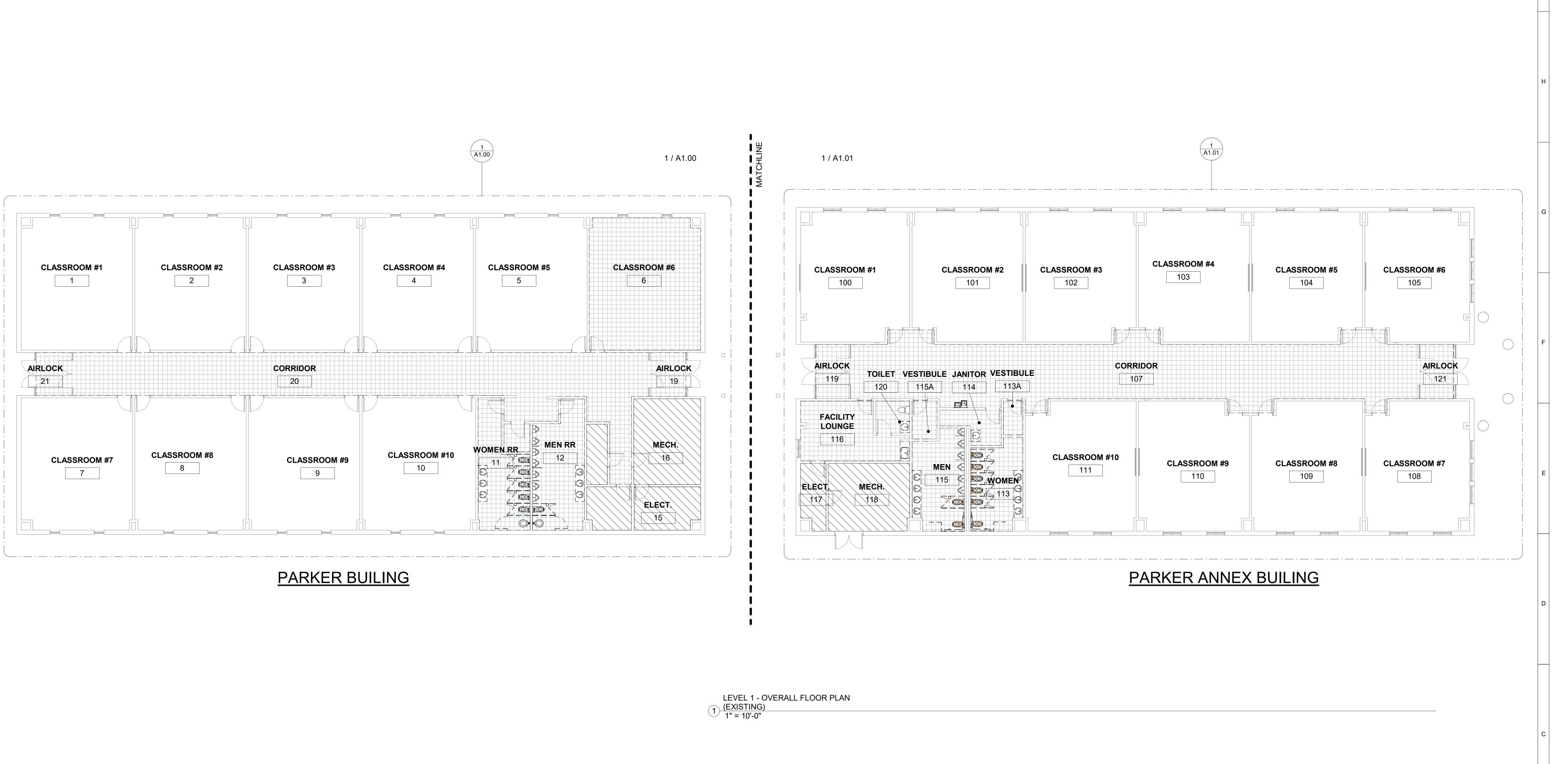
Dwg. Coord.: Author Tech. Coord.: Checker

PLAN

CD BID SET

22006

OVERALL LIFE SAFETY 04.05.2023



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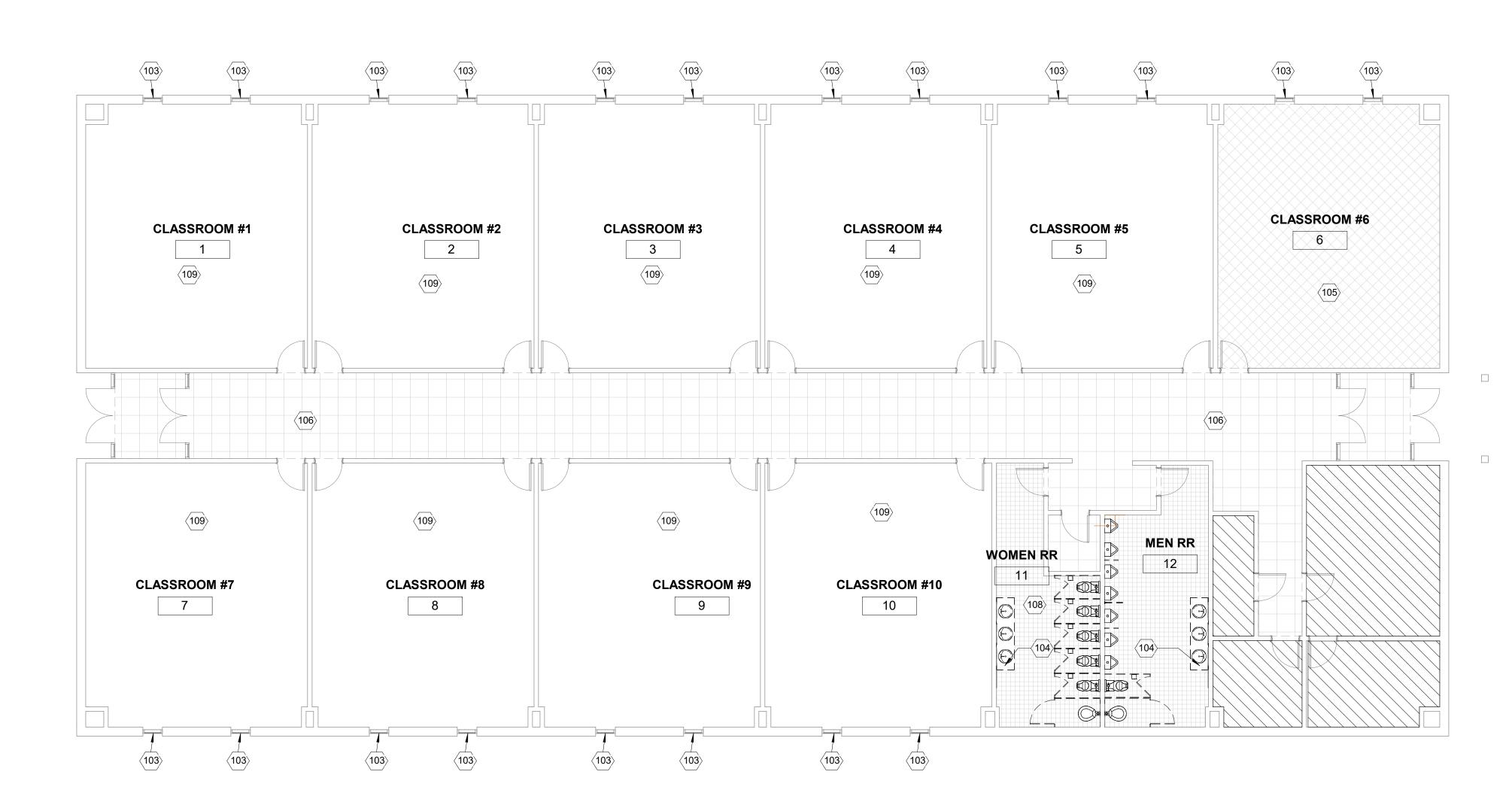
OVERALL PLAN

OVERALL PLAN
CD BID SET

Demo Keynote Legend Key Value Keynote Text REMOVE EXSITING BLINDS DEMOLISH THE EXISTING FIXTURES, COUNTERTOPS, TOILET PARTITIONS, AND MIRRORS DEMOLISH THE EXISTING RAISED FLOORING DEMOLISH THE EXISTING VCT FLOORING, PATCH AND REPAIR FOUNDATION WHERE CRACKING OCCURS WITH LEVELING COMPOUND DEMOLISH THE EXISTING FLOOR AND WALL TILE, PREP TO RECEIVE NEW TILE DEMOLISH THE EXISTING VCT

# **ALTERNATE NO 1:**

NOTE: PER ALTERNATE NO 1, PLEASE REMOVE ALL EXISTING INTERIOR FLUSH WOOD DOORS AND DOOR HARDWARE FOR THE PARKER AND PARKER ANNEX BUILDINGS. EXISTING DOOR FRAMES TO REMAIN.



LEVEL 1 - DEMO FLOOR PLAN (PARKER BLDG)

1/8" = 1'-0"

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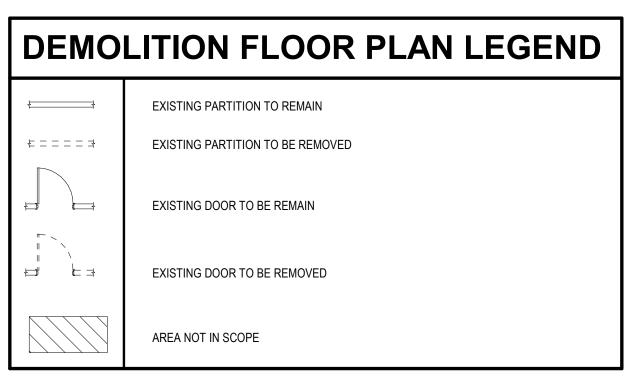
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22006 Dwg. Coord.: Author Tech. Coord.: Checker A1.00

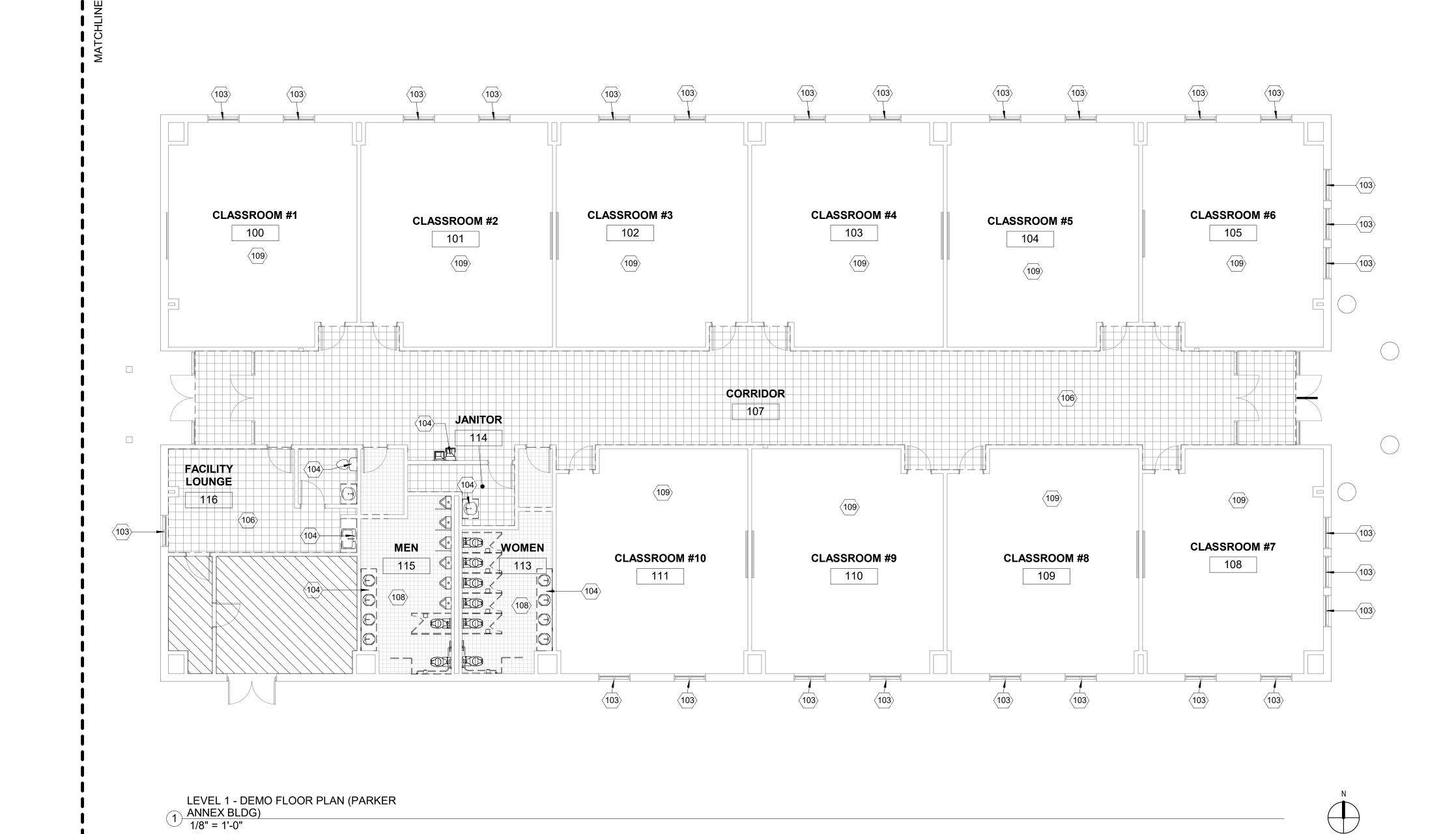
DEMO FLOOR PLAN (PARKER) 04.05.2023 CD BID SET



Demo Keynote Legend Key Value Keynote Text REMOVE EXSITING BLINDS DEMOLISH THE EXISTING FIXTURES, COUNTERTOPS, TOILET PARTITIONS, **AND MIRRORS** DEMOLISH THE EXISTING VCT FLOORING, PATCH AND REPAIR FOUNDATION WHERE CRACKING OCCURS WITH LEVELING COMPOUND DEMOLISH THE EXISTING FLOOR AND WALL TILE, PREP TO RECEIVE NEW TILE DEMOLISH THE EXISTING VCT

# **ALTERNATE NO 1:**

NOTE: PER ALTERNATE NO 1, PLEASE REMOVE ALL EXISTING INTERIOR FLUSH WOOD DOORS AND DOOR HARDWARE FOR THE PARKER AND PARKER ANNEX BUILDINGS. EXISTING DOOR FRAMES TO REMAIN.



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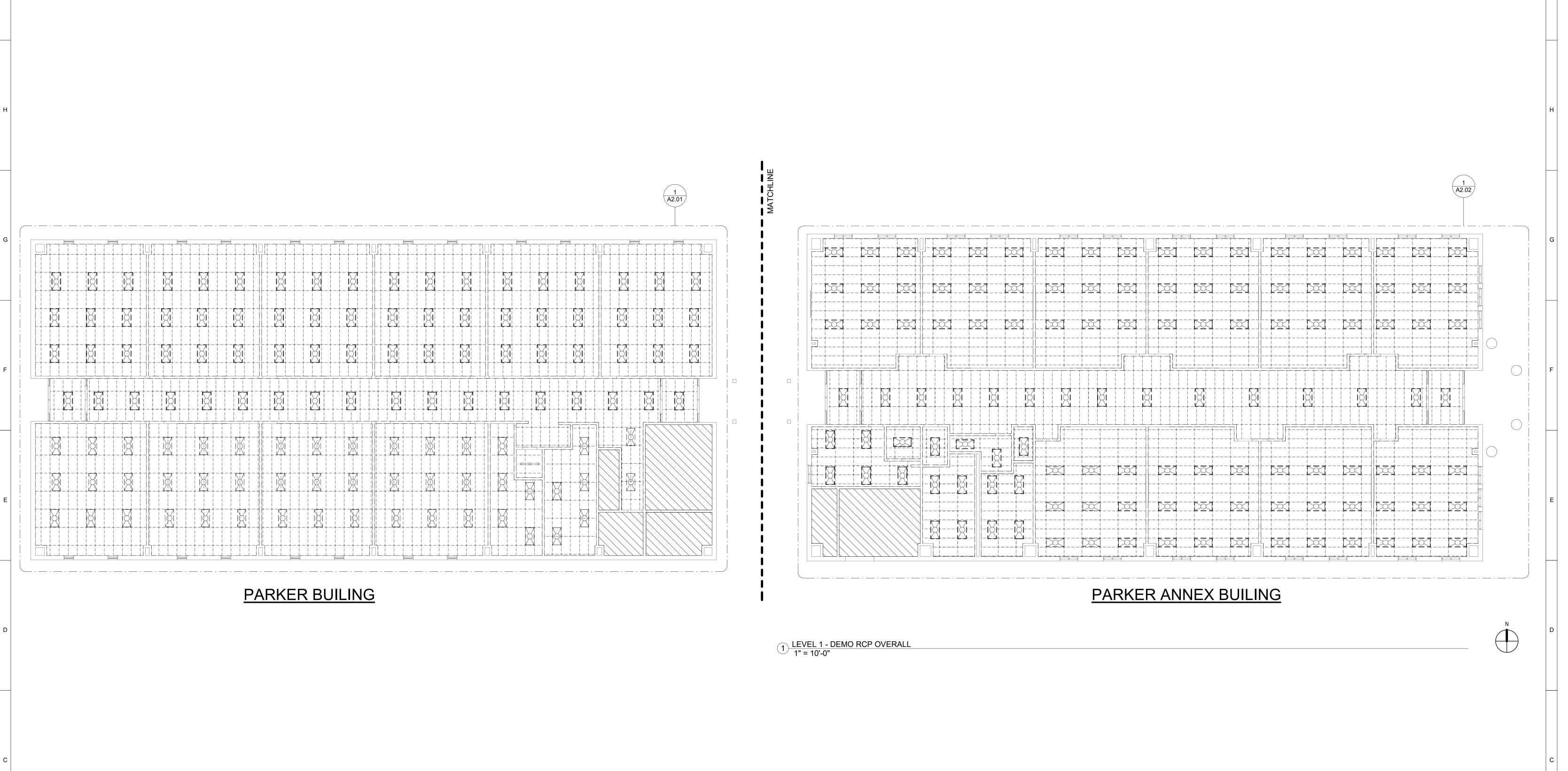


PARKER BUILDING AND **NEW CLASSROOM** RENOVATION 4900 Meridian Street N, Huntsville, AL 35811 **ALABAMA A&M** 

22006 Dwg. Coord.: Author Tech. Coord.: Checker 04.05.2023

DEMO FLOOR PLAN (ANNEX)

CD BID SET



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**DEMOLITION NOTES:** 

DEMOLITION WORK. CONSULT OWNER PRIOR TO DEMOLITION.

WORK TO AVOID REGULAR BUINESS OR CLASS HOURS.

UN-USED ITEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

THE CONTRACTOR SHALL REMOVE CONDUITS, WIRING, ETC. TO THEIR SOURCE AFTER

THE CONTRACTOR SHALL COMPLY WITH ALL OWNER'S RULES AND REGULATIONS REGARDING

THE CONTRACTOR SHALL EXERCISE CARE IN REMOVAL OF ANY COMPONENTS (I.E. DOORS, FRAMES, FIXTURES, CEILING TILES) WHICH MAY BE RE-USED IN THIS OR FUTURE PROJECTS.

THE CONTRACTOR SHALL COORDINATE THE STORAGE OF SALVAGEABLE BASE BUILDING

MATERIALS WITH THE BUILDING OWNER UNTIL COMPLETION OF THE PROJECT. DISPOSAL OF ALL

THE CONTRACTOR SHALL COORDINATE THE SCHEDULING OF LOUD OR DISRUPTIVE DEMOLITION

EQUIPMENT.

DEMOLITION.

DEMOLITION REFLECTED CEILING

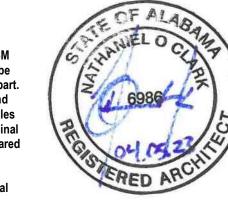
EXISTING CEILING TILE AND GRID TO BE REMOVED

EXISTING RECESSED LIGHTING TO BE REMOVED

AREA NOT IN SCOPE

PLAN LEGEND

+-+-+-+



CHANGE DESCRIPTION



PARKER BUILDING AND
NEW CLASSROOM
RENOVATION

4900 Meridian Street N, Huntsville, AL 35811
for
ALABAMA A&M
UNIVERSITY

Dwg. Coord.: Author Tech. Coord.: Checker

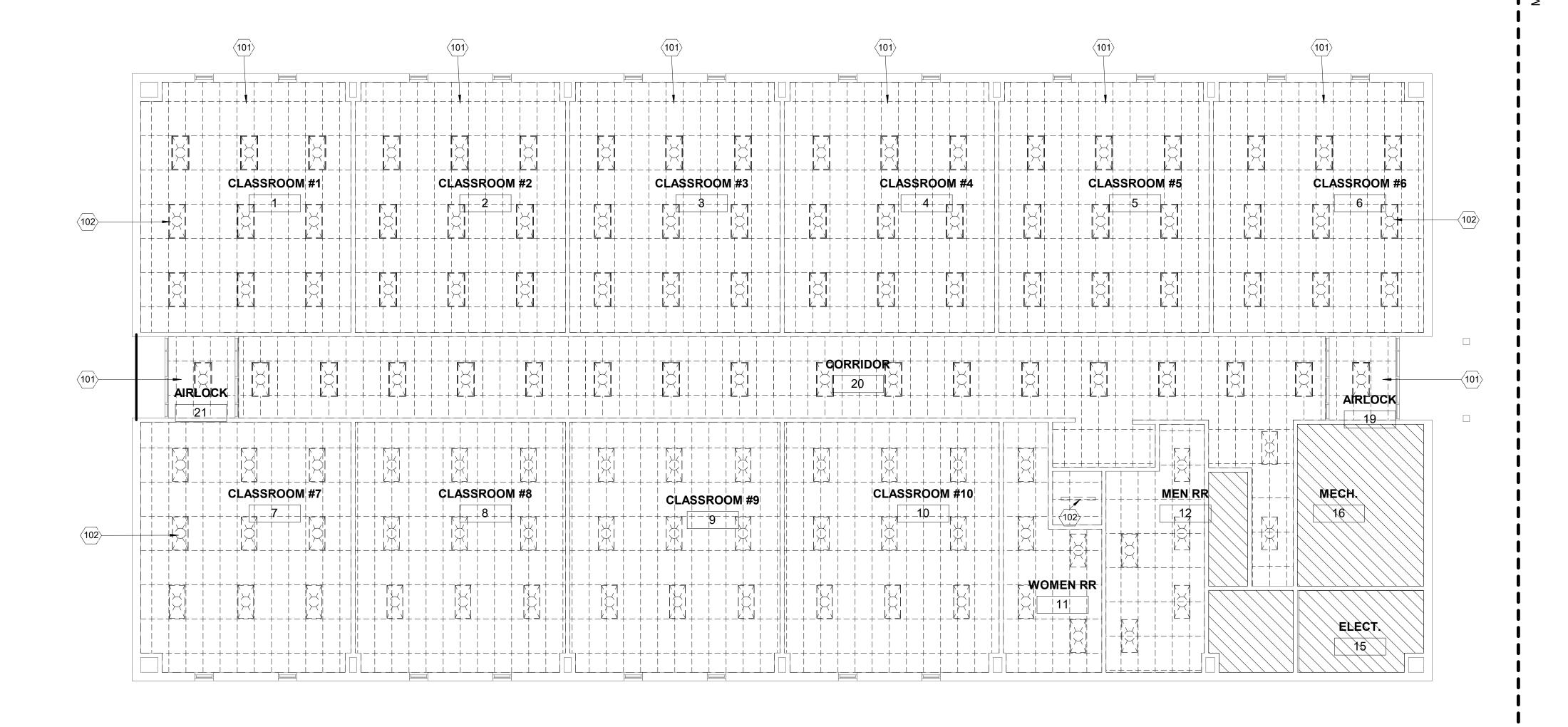
22006

A2.00
04.05.2023

OVERALL DEMO RCP PLAN

	LITION REFLECTED CEILING LEGEND
+ - + - + - + 	EXISTING CEILING TILE AND GRID TO BE REMOVED
	EXISTING RECESSED LIGHTING TO BE REMOVED
	AREA NOT IN SCOPE

	Demo Keynote Legend
Key Value	Keynote Text
101	DEMOLISH THE EXISTING CEILING TILE FOR THE INSTALLATION OF NEW 2X2 TILE, TYPICAL
102	DEMOLISH THE EXISTING LIGHTS FOR INSTALLATION OF NEW LED LIGHTS, TYPICAL





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CD BID SET

PARKER BUILDING AND **NEW CLASSROOM** RENOVATION 4900 Meridian Street N, Huntsville, AL 35811

**ALABAMA A&M UNIVERSITY** 

Dwg. Coord.: Author Tech. Coord.: Checker

22006

DEMO RCP PLAN (PARKER)

	LITION REFLECTED CEILING LEGEND
+ - + - + - +	EXISTING CEILING TILE AND GRID TO BE REMOVED
F J	EXISTING RECESSED LIGHTING TO BE REMOVED
	AREA NOT IN SCOPE

Demo Keynote Legend Key Value Keynote Text DEMOLISH THE EXISTING CEILING TILE FOR THE INSTALLATION OF NEW 2X2 TILE, TYPICAL DEMOLISH THE EXISTING LIGHTS FOR INSTALLATION OF NEW LED LIGHTS,

CHANGE DESCRIPTION

# DATE

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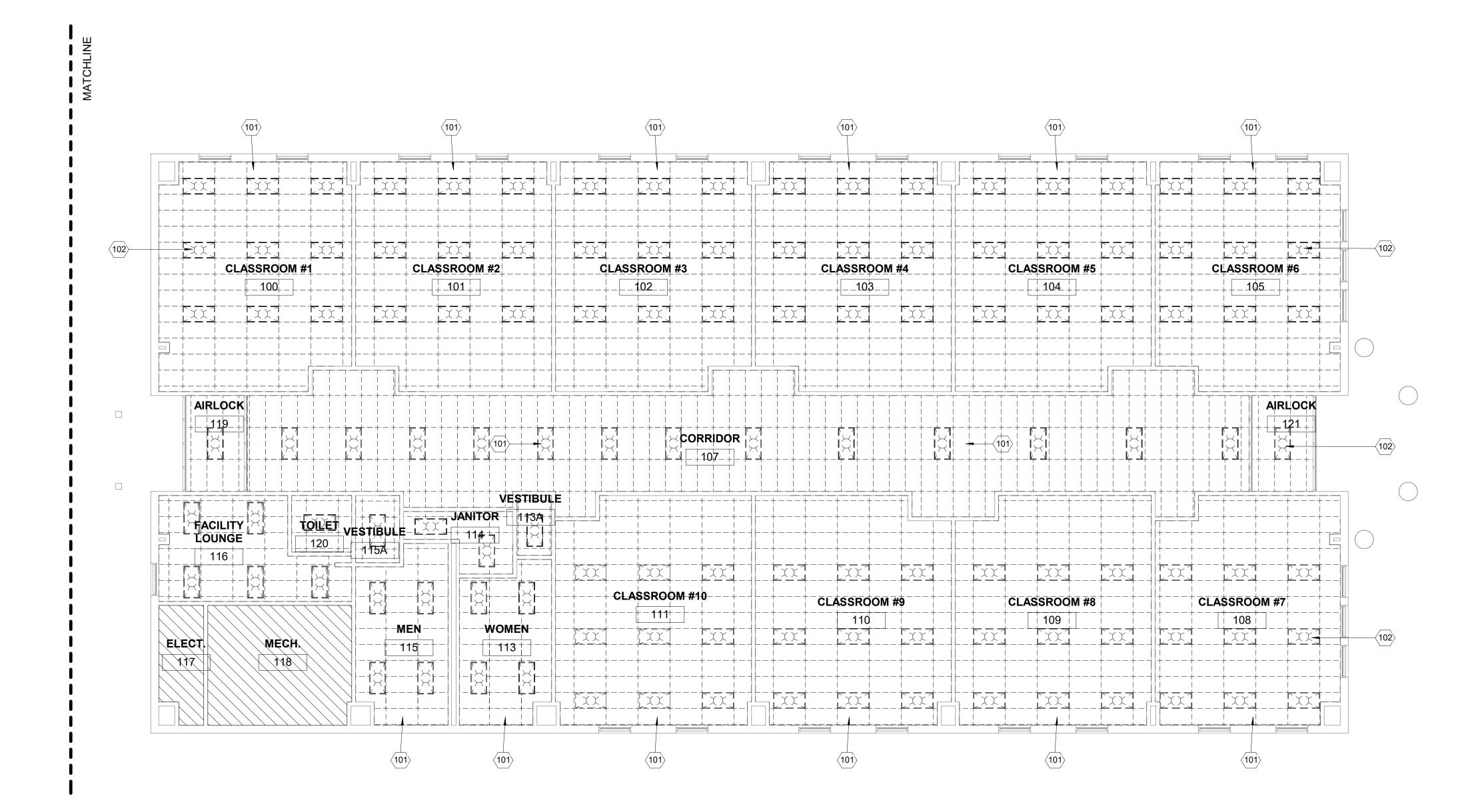
PARKER BUILDING AND **NEW CLASSROOM** RENOVATION 4900 Meridian Street N, Huntsville, AL 35811 **ALABAMA A&M** 

Dwg. Coord.: Author Tech. Coord.: Checker

22006

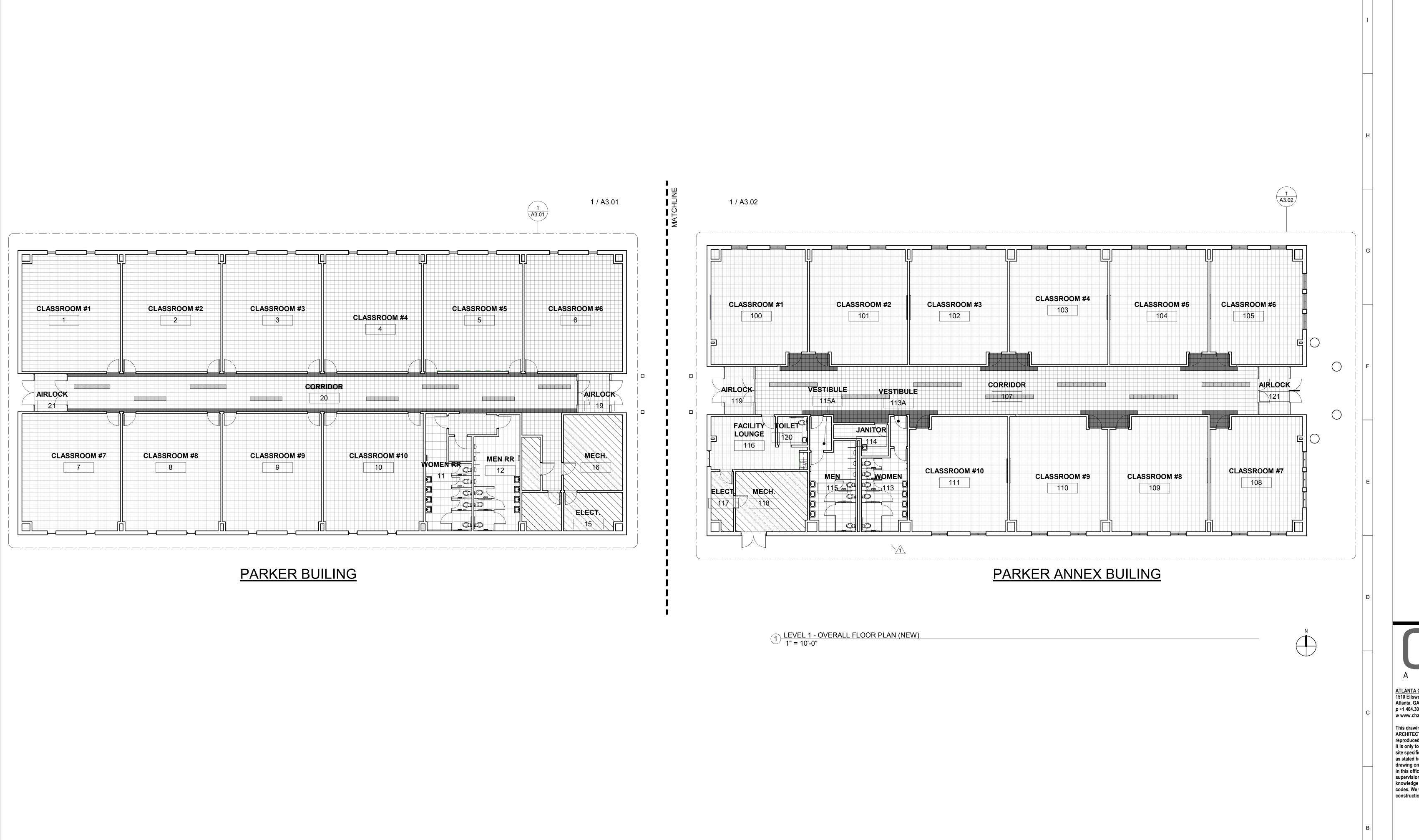
DEMO RCP PLAN (ANNEX)

04.05.2023



LEVEL 1 - DEMO RCP (PARKER ANNEX

1 BLDG) 1/8" = 1'-0"



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22006

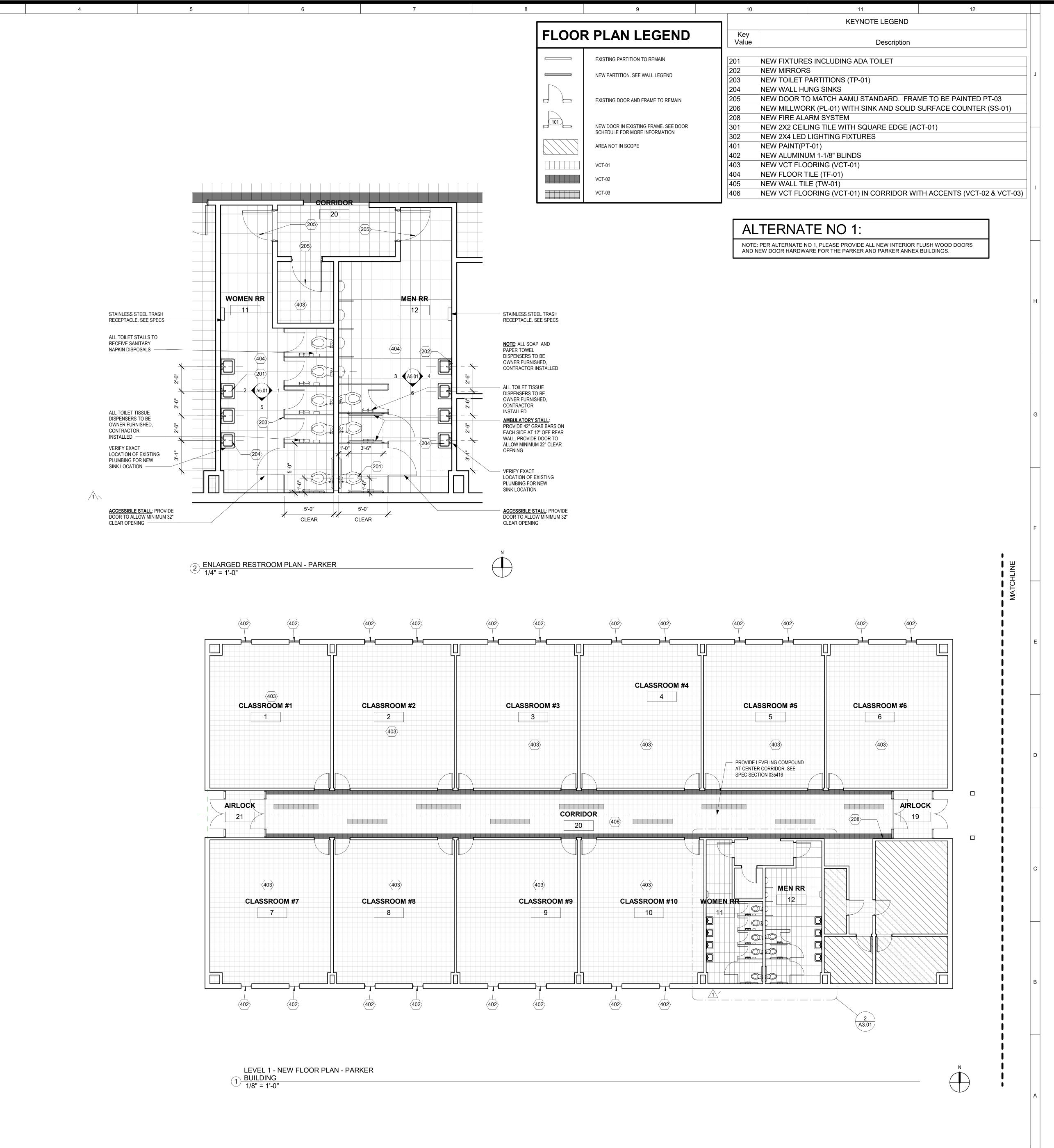


Dwg. Coord.: Author Tech. Coord.: Checker

CD BID SET

A3.00

NEW - OVERALL PLAN 04.05.2023



1 03/13/23 1st Revised Final

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PARKER BUILDING AND NEW CLASSROOM RENOVATION

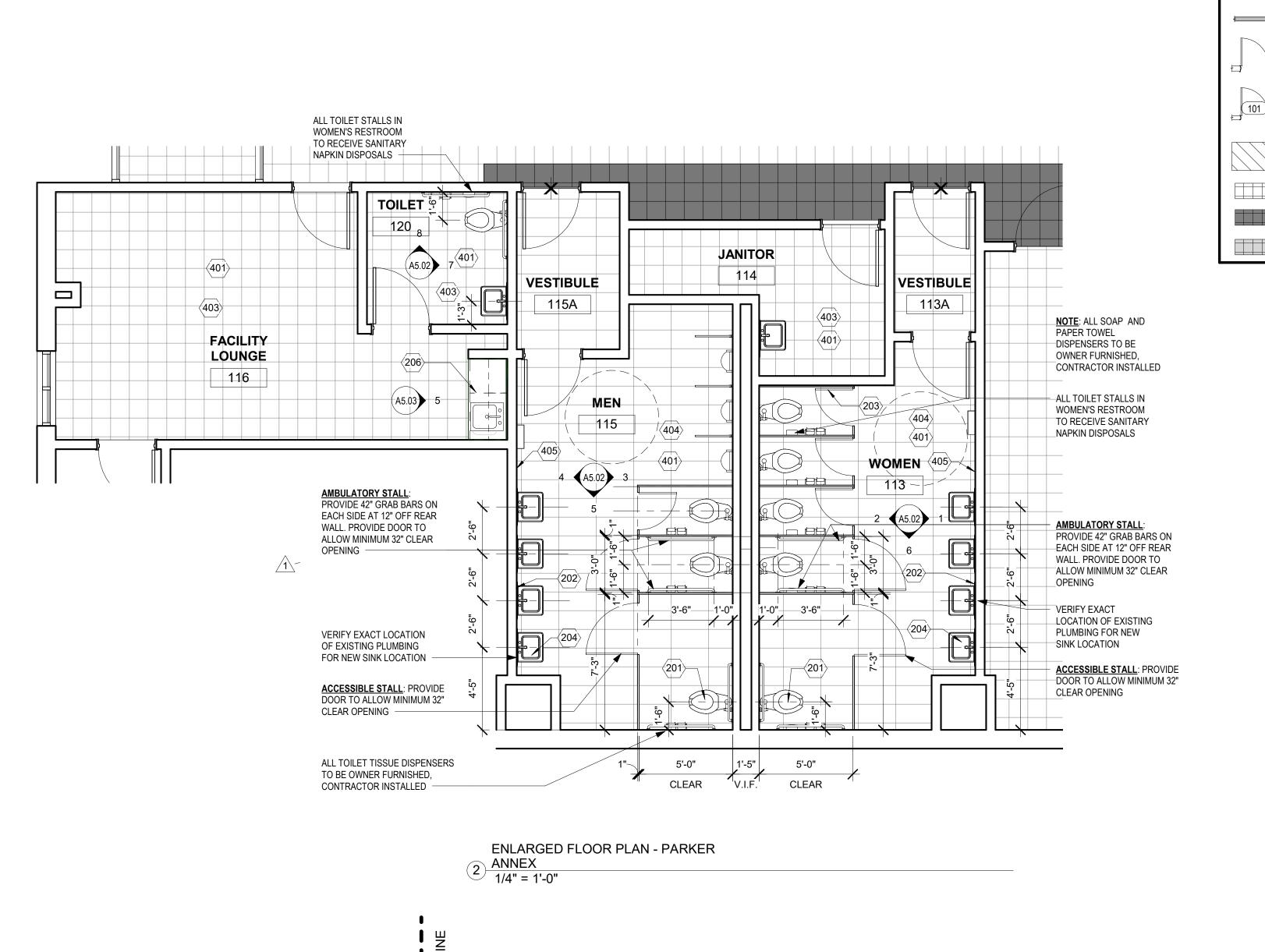
4900 Meridian Street N, Huntsville, AL 35811 for ALABAMA A&M

UNIVERSITY

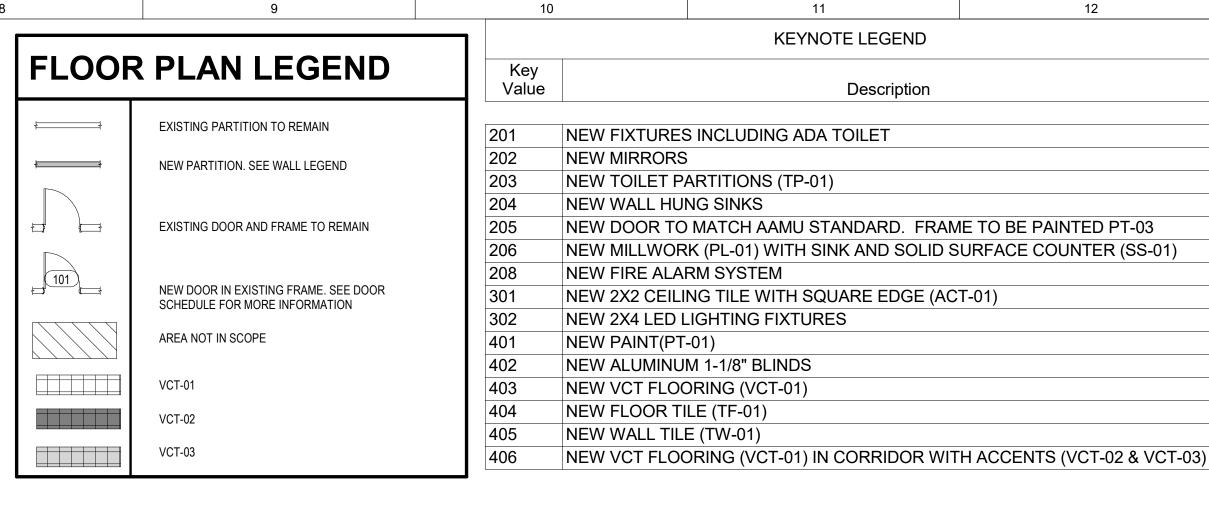
Dwg. Coord.: Author Tech. Coord.: Checker 22006

NEW FLOOR PLAN (PARKER)

CD BID SET



LEVEL 1 - NEW FLOOR PLAN (PARKER
ANNEX BLDG)
1/8" = 1'-0"



**ALTERNATE NO 1:** 

NOTE: PER ALTERNATE NO 1, PLEASE PROVIDE ALL NEW INTERIOR FLUSH WOOD DOORS AND NEW DOOR HARDWARE FOR THE PARKER AND PARKER ANNEX BUILDINGS.

CLASSROOM #1 CLASSROOM #2 CLASSROOM #3 CLASSROOM #4 CLASSROOM #5 CLASSROOM #6 103 105 102 <del>\\ \ 403\\ \ \</del> AIRLOCK 121 FACILITY LOUNGE 116 403 CLASSROOM #8 CLASSROOM #9 CLASSROOM #7 CLASSROOM #10 110 109 108 111

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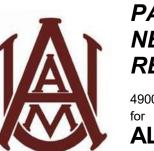
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PARKER BUILDING AND **NEW CLASSROOM** RENOVATION 4900 Meridian Street N, Huntsville, AL 35811

**ALABAMA A&M UNIVERSITY** 

Dwg. Coord.: Author Tech. Coord.: Checker

22006

NEW FLOOR PLAN (ANNEX) 04.05.2023

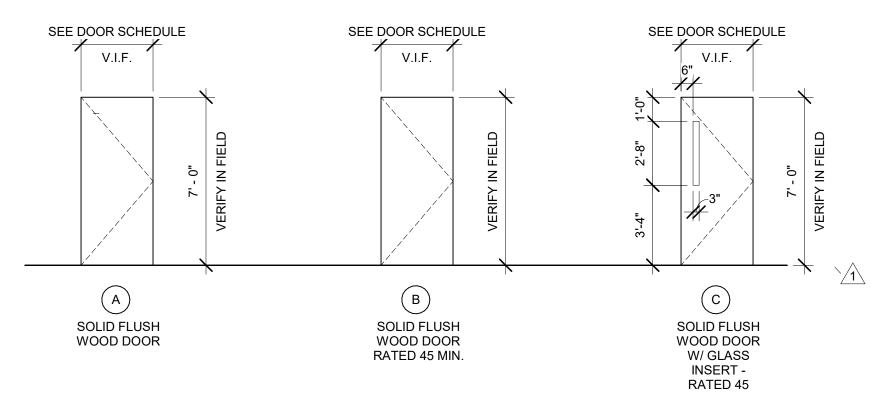
TYPE		SIZ	E	-	ΓΥΡΕ	FRAME			
MARK	ROOM NAME	WIDTH	HEIGHT	DOOR TYPE	DOOR MATERIAL	FRAME MATERIAL FIRE RA	FIRE RATING	HARDWARE SET	
001	CLASSROOM #1	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	
002	CLASSROOM #2	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	
002A	CLASSROOM #2	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	
003	CLASSROOM #3	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	
003A	CLASSROOM #3	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	
004	CLASSROOM #4	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	
004A	CLASSROOM #4	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	
005	CLASSROOM #5	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	
005A	CLASSROOM #5	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	
006	CLASSROOM #6	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	
007	CLASSROOM #7	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	
008	CLASSROOM #8	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	
008A	CLASSROOM #8	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	
009	CLASSROOM #9	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	
009A	CLASSROOM #9	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	_
010	CLASSROOM #10	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	
010A	CLASSROOM #10	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	
011	WOMEN'S RR	3'-0"	7'-0"	В	WOOD	EXIST HM	45 MIN.	P5.0	
012	MEN'S RR	3'-0"	7'-0"	В	WOOD	EXIST HM	45 MIN.	P5.0	
013	STORAGE	3'-0"	6'-8"	В	WOOD	EXIST HM	45 MIN.	P1.0	
014	STORAGE	3'-0"	7'-0"	В	WOOD	EXIST HM	45 MIN.	P1.0	
015	ELECTRICAL	3'-0"	7'-0"	В	WOOD	EXIST HM		P1.0	
016	MECHANICAL	3'-0"	7'-0"	В	WOOD	EXIST HM	45 MIN.	P1.0	
017	JANITOR	3'-0"	7'-0"	В	WOOD	EXIST HM	45 MIN.	P2.0	
019	CORRIDOR	EXISTING	TO REMAIN					P7.0	
019A	CORRIDOR	EXISTING	TO REMAIN					P7.0	
021	CORRIDOR	EXISTING	TO REMAIN					P7.0	
021A	CORRIDOR	EXISTING	TO REMAIN					P7.0	

TYPE MARK	ROOM NAME	SIZE		TYPE		FRAME			
		WIDTH	HEIGHT	DOOR TYPE	DOOR MATERIAL	FRAME MATERIAL	FIRE RATING	HARDWARE SET	COMMENTS
100	CLASSROOM #1	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	
101	CLASSROOM #2	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	
102	CLASSROOM #3	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	
103	CLASSROOM #4	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	
104	CLASSROOM #5	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	
105	CLASSROOM #6	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	
108	CLASSROOM #7	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	
109	CLASSROOM #8	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	
110	CLASSROOM #9	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	
111	CLASSROOM #10	3'-0"	7'-0"	С	WOOD	EXIST HM	45 MIN.	P4.0	
113	WOMEN'S RR	3'-0"	7'-0"	В	WOOD	EXIST HM		P8.0	
113A	VESTIBULE	3'-0"	7'-0"	В	WOOD	EXIST HM	45 MIN.	P5.0	
114	JANITOR	3'-0"	7'-0"	В	WOOD	EXIST HM	45 MIN.	P2.0	
115	MEN'S RR	3'-0"	7'-0"	В	WOOD	EXIST HM		P8.0	
115A	VESTIBULE	3'-0"	7'-0"	В	WOOD	EXIST HM	45 MIN.	P5.0	
116	FACILITY LOUNGE	3'-0"	7'-0"	В	WOOD	EXIST HM	45 MIN.	P3.0	
117	ELECTRICAL	3'-0"	7'-0"	В	WOOD	EXIST HM	45 MIN.	P1.0	
118	MECHANICAL	3'-0"	7'-0"	В	WOOD	EXIST HM	45 MIN.	P1.0	
119	CORRIDOR	EXISTING DOOR AND FRAME TO AREMAIN						P7.0	
119A	CORRIDOR	EXISTING DOOR AND FRAME TO REMAIN						P7.0	
120	TOILET	3'-0"	7'-0"	Α	WOOD	EXIST HM		P6.0	
121	CORRIDOR	EXISTING DOOR AND FRAME TO REMAIN						P7.0	
121A	CORRIDOR	EXISTING DOOR AND FRAME TO REMAIN						P7.0	
122	MECHANICAL	EXISTING DOOR AND FRAME TO REMAIN						P7.0	

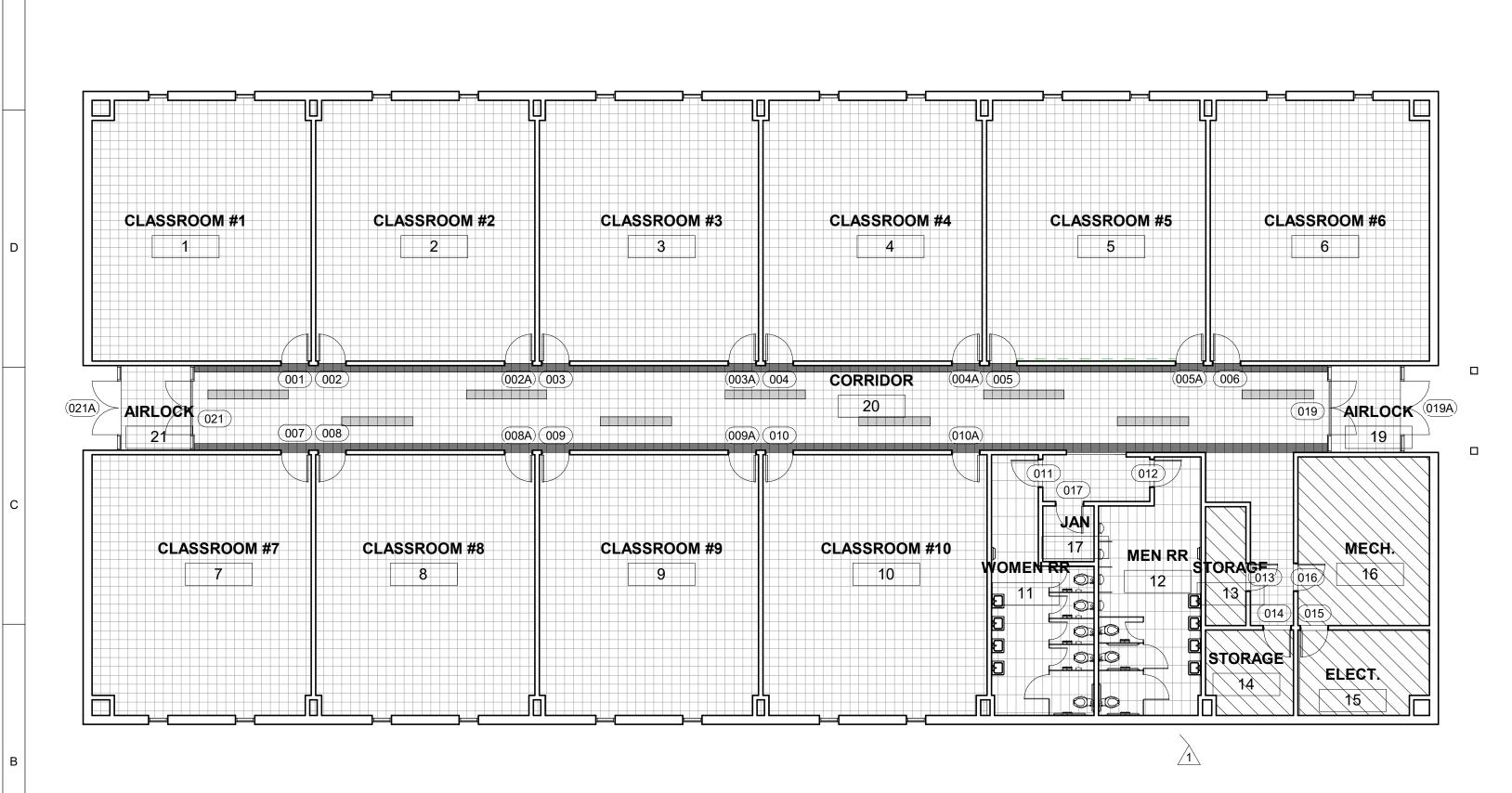
#### **DOOR NOTES:**

1 / A3.01

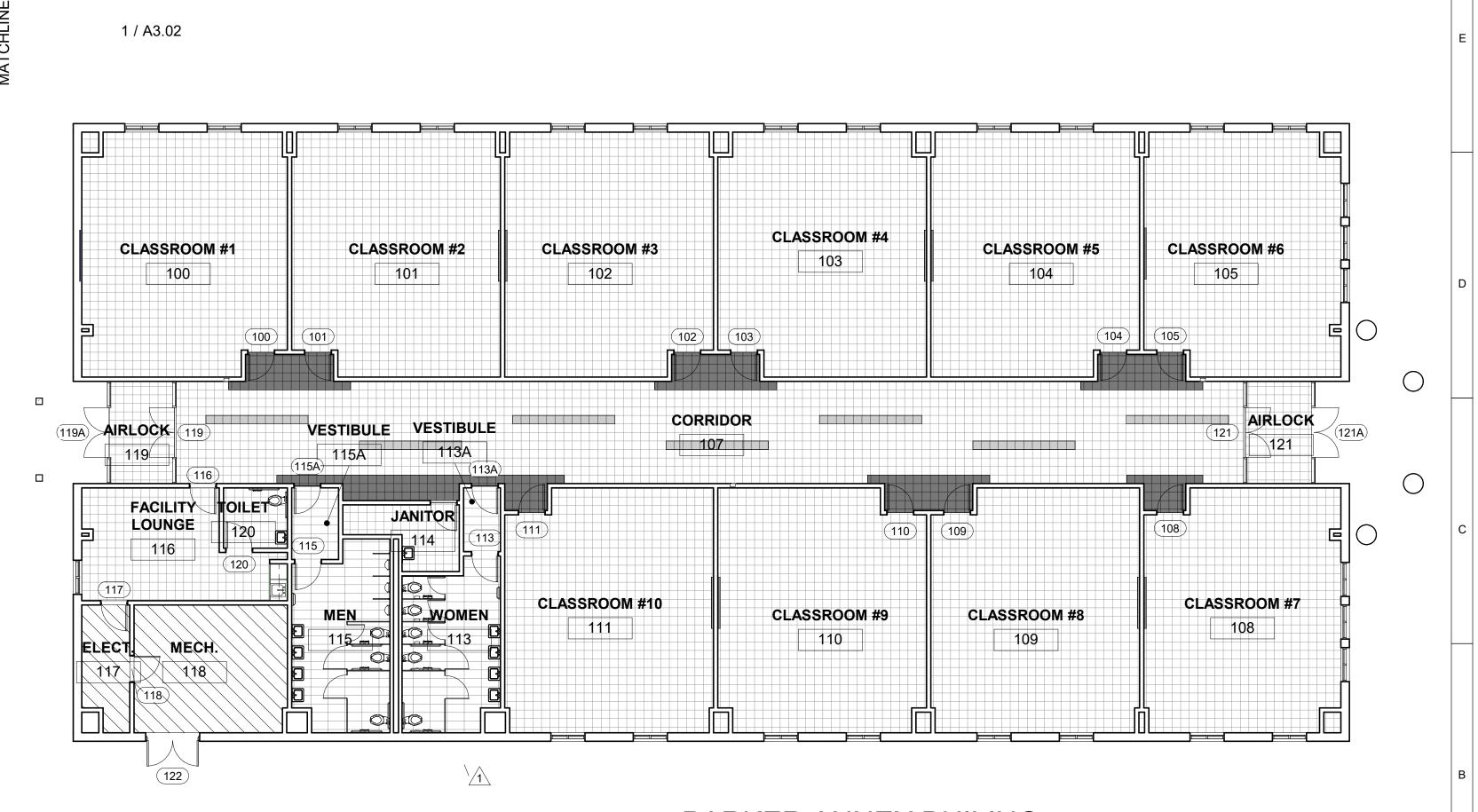
- 1. ALL NEW DOORS TO BE SOLID WOOD FLUSH DOORS IN EXISTING FRAMES
- 2. ALL NEW WOOD DOORS TO BE "RED OAK" SPECIES AND STAINED TO MATCH EXISTING DOORS.
- 3. PAINT ALL DOOR FRAMES PT-03. SEE INTERIOR FINISH LEGEND.



2 DOOR ELEVATIONS 1/4" = 1'-0"



PARKER BUILING



# PARKER ANNEX BUILING

PLANS SHOWN FOR ALTERNATE #1

**ALTERNATE NO 1:** 

NOTE: PER ALTERNATE NO 1, PLEASE PROVIDE ALL NEW INTERIOR FLUSH WOOD DOORS AND NEW DOOR HARDWARE FOR THE PARKER AND PARKER ANNEX BUILDINGS.

LEVEL 1 - OVERALL FLOOR PLAN (ALT



CHANGE DESCRIPTION

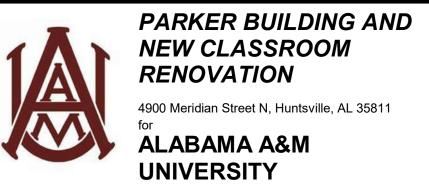
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CD BID SET

Dwg. Coord.: Author Tech. Coord.: Checker

NEW - OVERALL FLOOR PLAN - ALTERNATE #1

A3.03 04.05.2023

22006



**CHANGE DESCRIPTION** 

CLASSROOM #1

CLASSROOM #2

CLASSROOM #2

CLASSROOM #6

CL

1 LEVEL 1 - NEW RCP (PARKER BLDG) 1/8" = 1'-0"

KEYNOTE LEGEND Key Value Description NEW FIXTURES INCLUDING ADA TOILET **NEW MIRRORS** NEW TOILET PARTITIONS (TP-01) NEW WALL HUNG SINKS NEW DOOR TO MATCH AAMU STANDARD. FRAME TO BE PAINTED PT-03 NEW MILLWORK (PL-01) WITH SINK AND SOLID SURFACE COUNTER (SS-01) **NEW FIRE ALARM SYSTEM** NEW 2X2 CEILING TILE WITH SQUARE EDGE (ACT-01) NEW 2X4 LED LIGHTING FIXTURES NEW PAINT(PT-01) NEW ALUMINUM 1-1/8" BLINDS NEW VCT FLOORING (VCT-01) NEW FLOOR TILE (TF-01) NEW WALL TILE (TW-01) NEW VCT FLOORING (VCT-01) IN CORRIDOR WITH ACCENTS (VCT-02 & VCT-03)

CH/S/V

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CD BID SET

PARKER BUILDING AND NEW CLASSROOM RENOVATION

4900 Meridian Street N, Huntsville, AL 35811 for

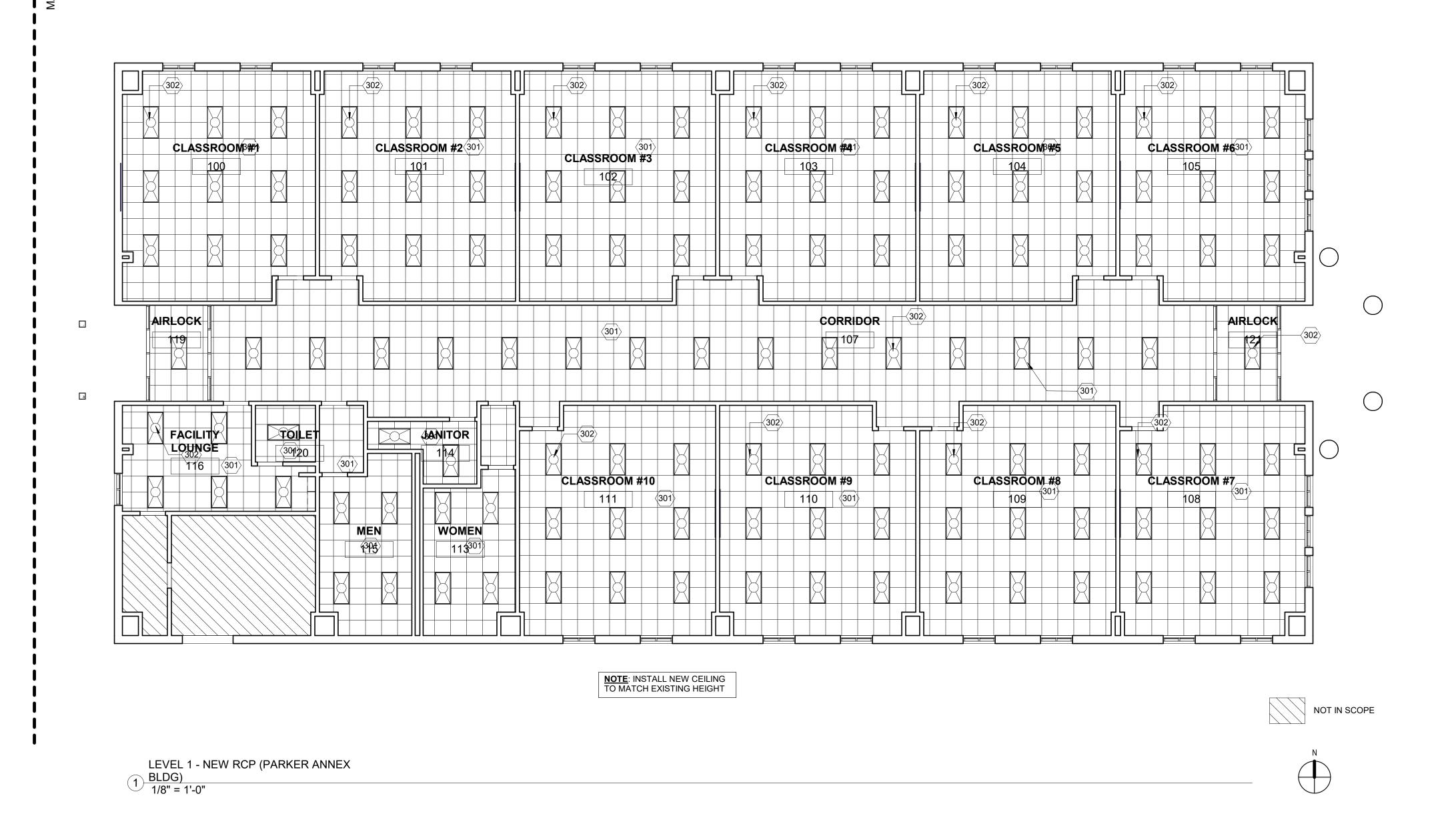
ALABAMA A&M UNIVERSITY

Dwg. Coord.: Author Tech. Coord.: Checker

RCP PLAN (PARKER)

**A4.U1**04.05.2023

22006



KEYNOTE LEGEND Key Value Description NEW FIXTURES INCLUDING ADA TOILET NEW MIRRORS NEW TOILET PARTITIONS (TP-01) NEW WALL HUNG SINKS NEW DOOR TO MATCH AAMU STANDARD. FRAME TO BE PAINTED PT-03 NEW MILLWORK (PL-01) WITH SINK AND SOLID SURFACE COUNTER (SS-01) NEW FIRE ALARM SYSTEM NEW 2X2 CEILING TILE WITH SQUARE EDGE (ACT-01) NEW 2X4 LED LIGHTING FIXTURES NEW PAINT(PT-01) NEW ALUMINUM 1-1/8" BLINDS NEW VCT FLOORING (VCT-01) NEW FLOOR TILE (TF-01) NEW WALL TILE (TW-01) NEW VCT FLOORING (VCT-01) IN CORRIDOR WITH ACCENTS (VCT-02 & VCT-03)



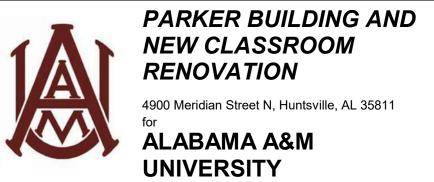
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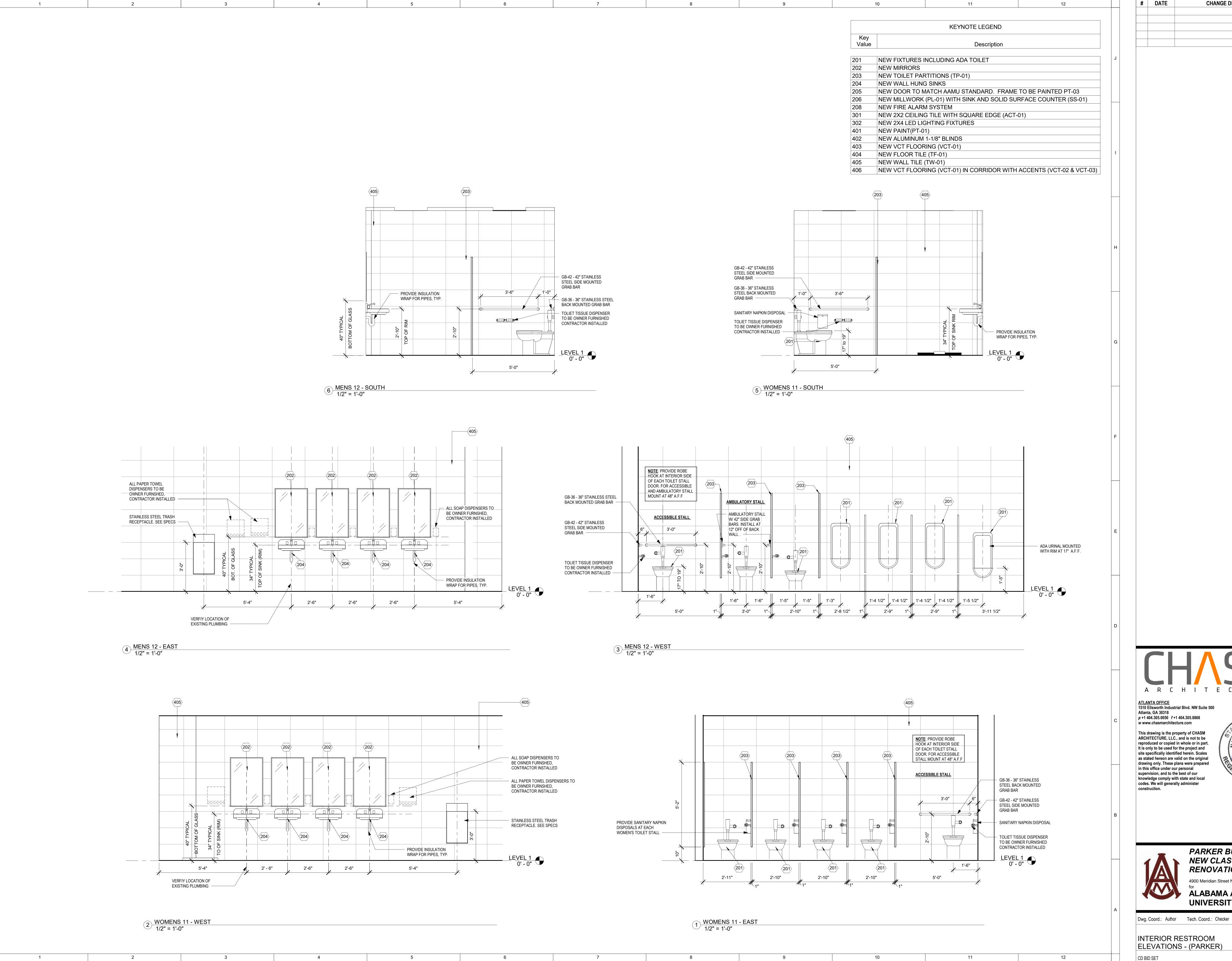


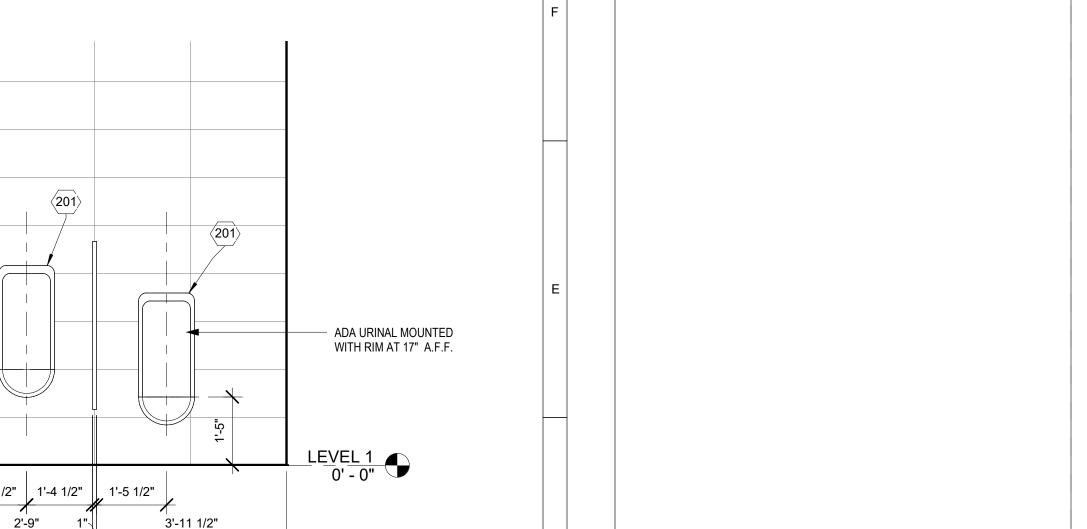
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CD BID SET

22006 A4.02

RCP PLAN (ANNEX) 04.05.2023



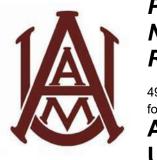


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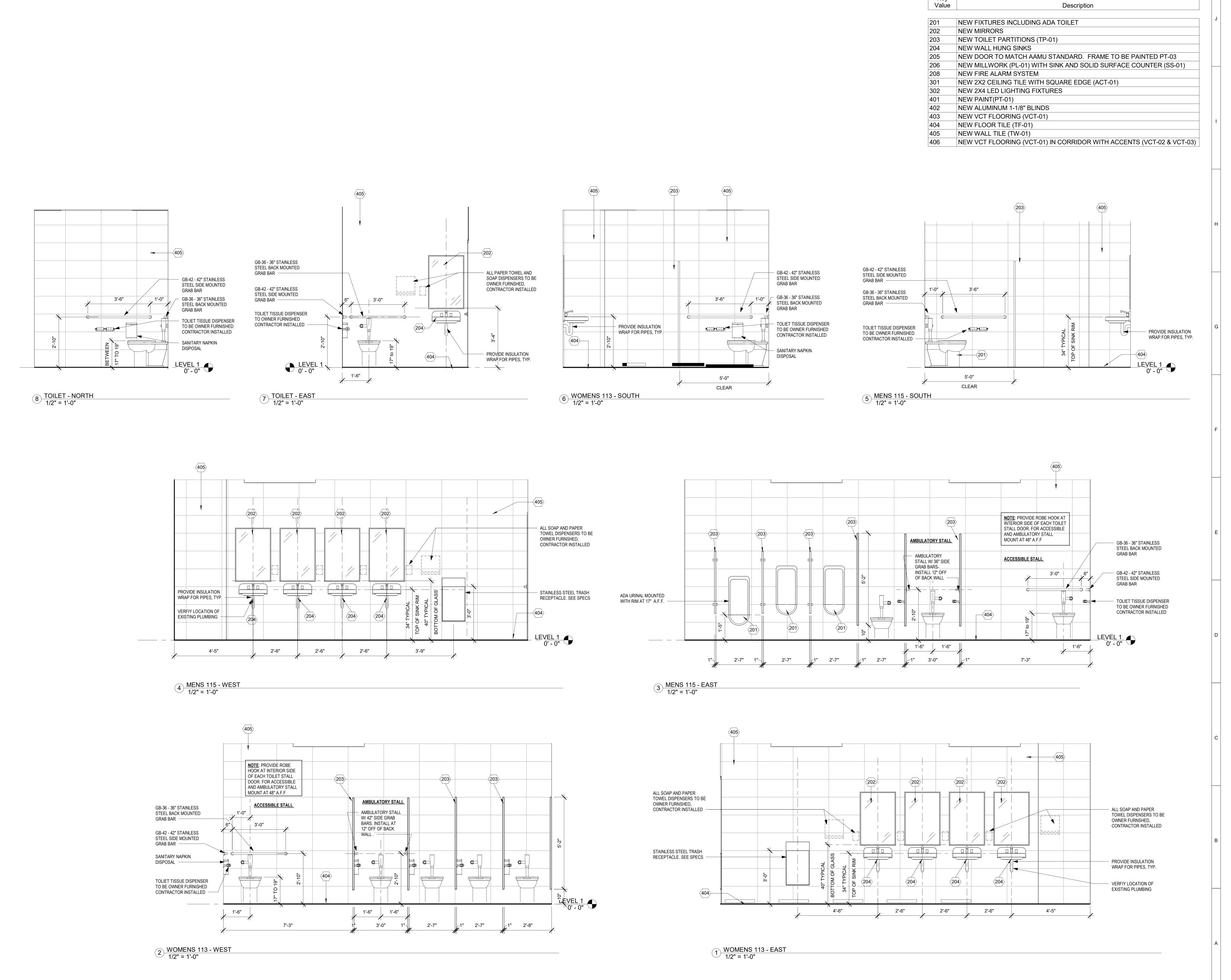
PARKER BUILDING AND NEW CLASSROOM RENOVATION 4900 Meridian Street N, Huntsville, AL 35811

**ALABAMA A&M** UNIVERSITY

INTERIOR RESTROOM ELEVATIONS - (PARKER)

**A5.01** 04.05.2023

22006



CHANGE DESCRIPTION

# DATE

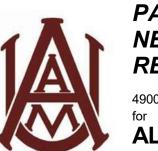
KEYNOTE LEGEND

CH/SM A R C H I T E C T U R E

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PARKER BUILDING AND NEW CLASSROOM RENOVATION

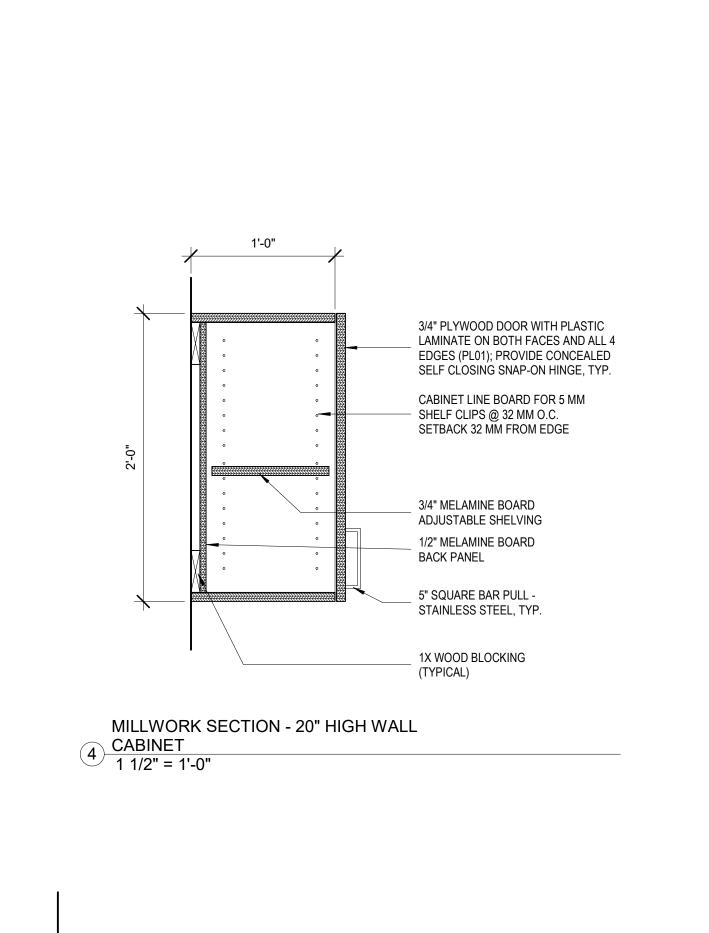
4900 Meridian Street N, Huntsville, AL 35811 for

ALABAMA A&M UNIVERSITY

Dwg. Coord.: Author Tech. Coord.: Checker 22006

INTERIOR RESTROOM ELEVATIONS - (ANNEX)

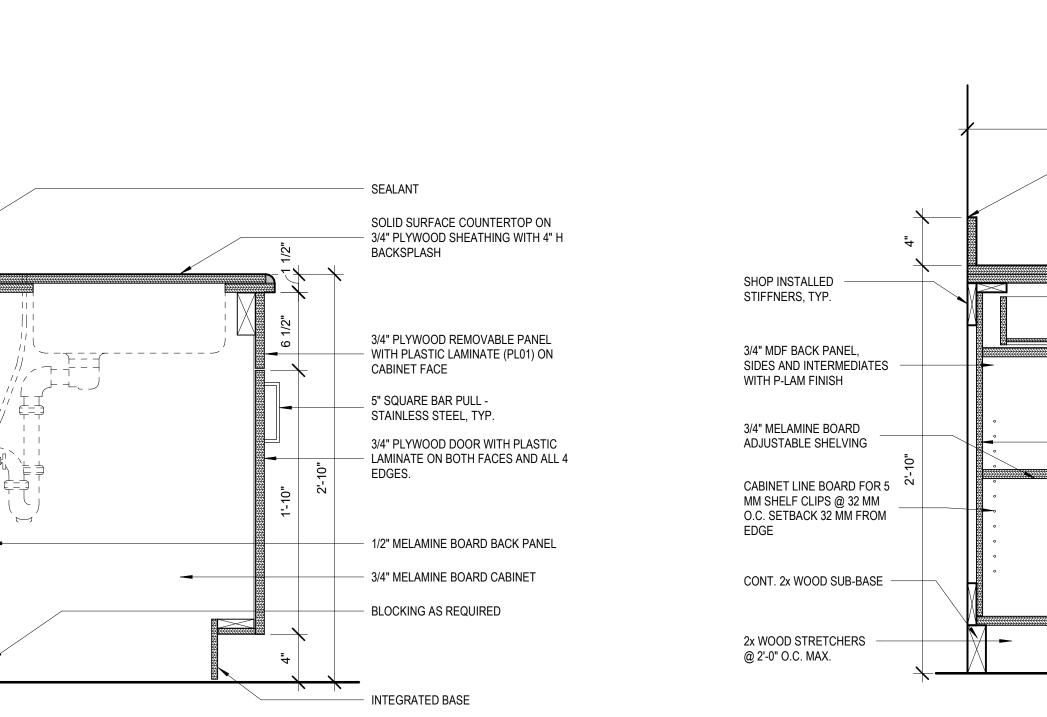
**A5.02**04.05.2023

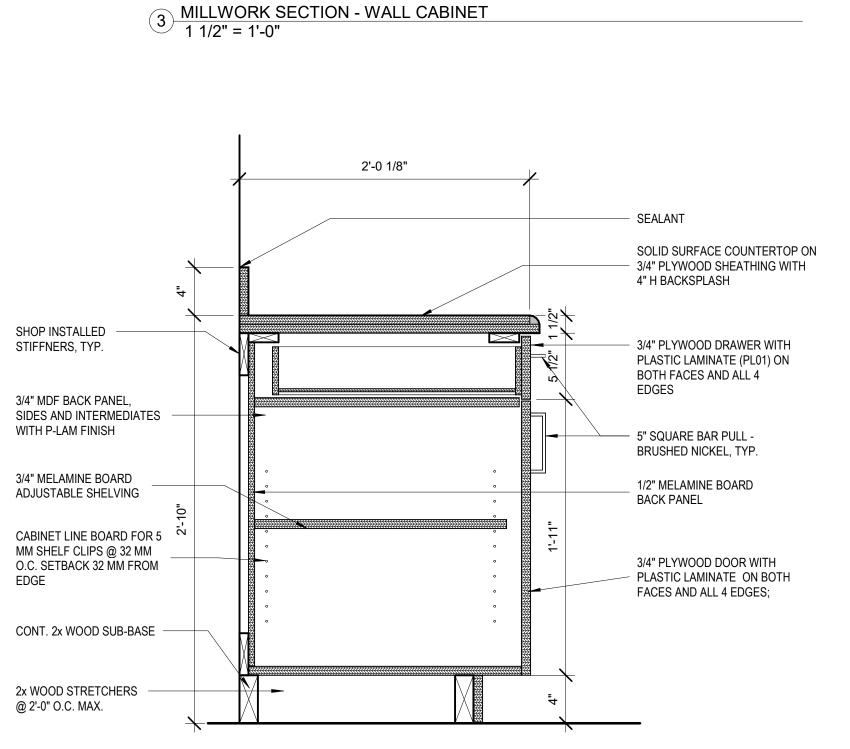


2 MILLWORK SECTION - BASE CABINET 1 1/2" = 1'-0"

2'-6"

5 FACULTY LOUNGE - WEST 1/2" = 1'-0"





1 MILLWORK SECTION - BASE CABINET 1 1/2" = 1'-0"

NOTE: CASEWORK SHALL BE CONSTRUCTED OF 3/4" PLYWOOD WITH HIGH PRESSURE LAMINATE ON ALL

EXPOSED SURFACES AND EDGES, SEMI-EXPOSED SURFACES (INTERIOR OF CABINETS) SHALL BE FINISHED WITH THERMOSET DECORATIVE OVERLAY (MELAMINE, SOLID COLOR TO MATCH LAM01). UNEXPOSED SURFACES SHALL BE SEALED WITH AN ACRYLIC SEALER. DETAILS SHALL COMPLY WITH A.W.I. FRAMELESS FLUSH PANEL CONSTRUCTION FOR CUSTOM GRADE CASEWORK.

EDGES.

3/4" MELAMINE BOARD

ADJUSTABLE SHELVING

CABINET LINE BOARD FOR 5 MM

SHELF CLIPS @ 32 MM O.C.

SETBACK 32 MM FROM EDGE

- 3/4" MELAMINE BOARD CABINET

1/2" MELAMINE BOARD

5" SQUARE BAR PULL -STAINLESS STEEL, TYP.

1X WOOD BLOCKING

BACK PANEL

3/4" PLYWOOD DOOR WITH PLASTIC LAMINATE ON BOTH FACES AND ALL 4

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construction.





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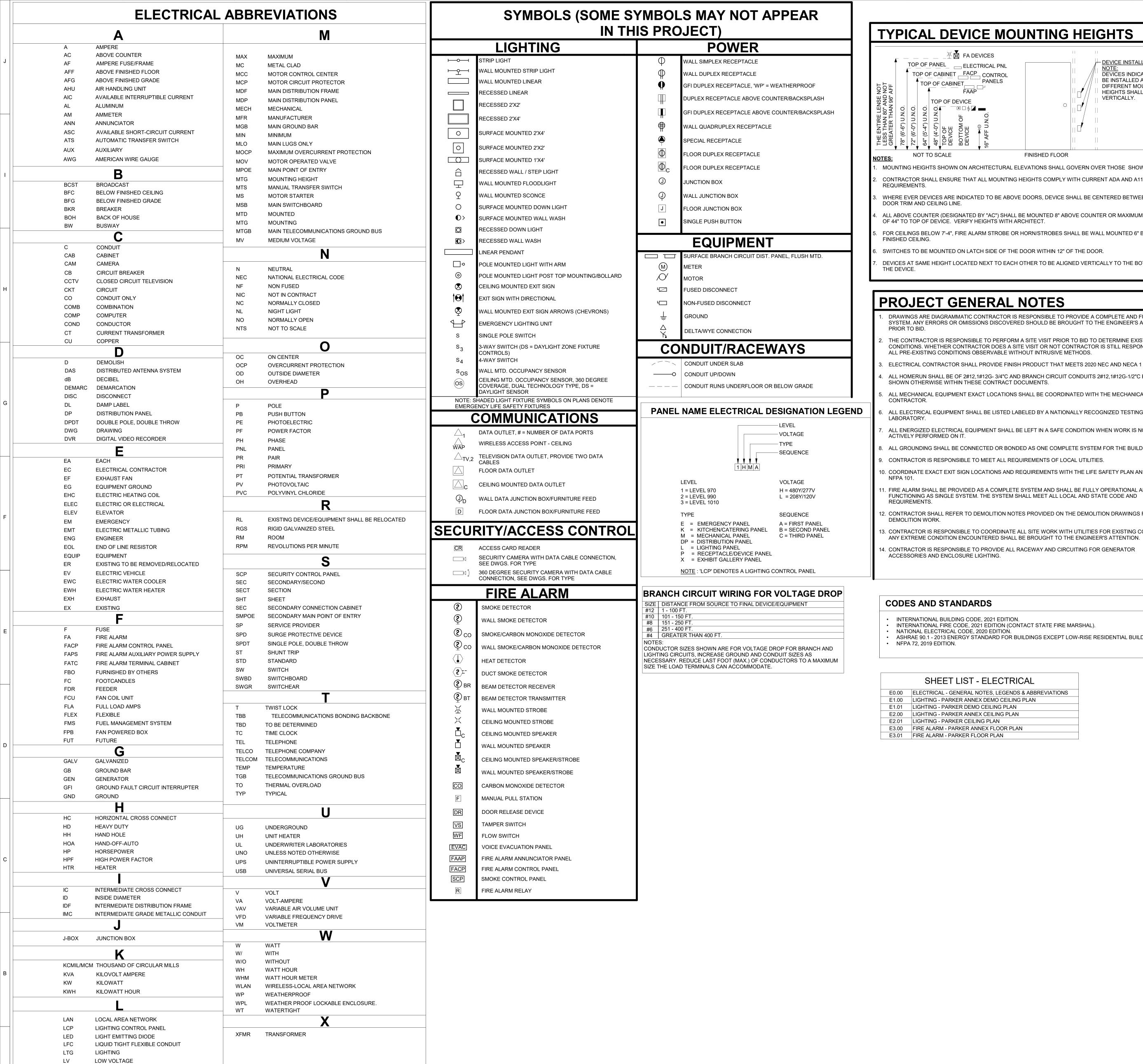
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INTERIOR ELEVATIONS, MILLWORK SECTIONS

CD BID SET

A5.03 04.05.2023

22006



TYPICAL DEVICE MOUNTING HEIGHTS DEVICE INSTALLATION DEVICES INDICATED TO BE INSTALLED AT **DIFFERENT MOUNTING** HEIGHTS SHALL ALIGN VERTICALLY. MOUNTING HEIGHTS SHOWN ON ARCHITECTURAL ELEVATIONS SHALL GOVERN OVER THOSE SHOWN ABOVE CONTRACTOR SHALL ENSURE THAT ALL MOUNTING HEIGHTS COMPLY WITH CURRENT ADA AND A117.1 WHERE EVER DEVICES ARE INDICATED TO BE ABOVE DOORS, DEVICE SHALL BE CENTERED BETWEEN TOP OF ALL ABOVE COUNTER (DESIGNATED BY "AC") SHALL BE MOUNTED 8" ABOVE COUNTER OR MAXIMUM HEIGHT FOR CEILINGS BELOW 7'-4", FIRE ALARM STROBE OR HORN/STROBES SHALL BE WALL MOUNTED 6" BELOW SWITCHES TO BE MOUNTED ON LATCH SIDE OF THE DOOR WITHIN 12" OF THE DOOR DEVICES AT SAME HEIGHT LOCATED NEXT TO EACH OTHER TO BE ALIGNED VERTICALLY TO THE BOTTOM OF DRAWINGS ARE DIAGRAMMATIC CONTRACTOR IS RESPONSIBLE TO PROVIDE A COMPLETE AND FUNCTIONAL SYSTEM. ANY ERRORS OR OMISSIONS DISCOVERED SHOULD BE BROUGHT TO THE ENGINEER'S ATTENTION THE CONTRACTOR IS RESPONSIBLE TO PERFORM A SITE VISIT PRIOR TO BID TO DETERMINE EXISTING CONDITIONS. WHETHER CONTRACTOR DOES A SITE VISIT OR NOT CONTRACTOR IS STILL RESPONSIBLE FOR ALL PRE-EXISTING CONDITIONS OBSERVABLE WITHOUT INTRUSIVE METHODS. ELECTRICAL CONTRACTOR SHALL PROVIDE FINISH PRODUCT THAT MEETS 2020 NEC AND NECA 1 2015. ALL HOMERUN SHALL BE OF 2#12,1#12G- 3/4"C AND BRANCH CIRCUIT CONDUITS 2#12,1#12G-1/2"C EXCEPT AS ALL MECHANICAL EQUIPMENT EXACT LOCATIONS SHALL BE COORDINATED WITH THE MECHANICAL ALL ELECTRICAL EQUIPMENT SHALL BE LISTED LABELED BY A NATIONALLY RECOGNIZED TESTING ALL ENERGIZED ELECTRICAL EQUIPMENT SHALL BE LEFT IN A SAFE CONDITION WHEN WORK IS NOT BEING ALL GROUNDING SHALL BE CONNECTED OR BONDED AS ONE COMPLETE SYSTEM FOR THE BUILDING. . CONTRACTOR IS RESPONSIBLE TO MEET ALL REQUIREMENTS OF LOCAL UTILITIES. COORDINATE EXACT EXIT SIGN LOCATIONS AND REQUIREMENTS WITH THE LIFE SAFETY PLAN AND THE 2018 1. FIRE ALARM SHALL BE PROVIDED AS A COMPLETE SYSTEM AND SHALL BE FULLY OPERATIONAL AND FUNCTIONING AS SINGLE SYSTEM. THE SYSTEM SHALL MEET ALL LOCAL AND STATE CODE AND 12. CONTRACTOR SHALL REFER TO DEMOLITION NOTES PROVIDED ON THE DEMOLITION DRAWINGS FOR ALL 13. CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL SITE WORK WITH UTILITIES FOR EXISTING CONDITIONS.

- INTERNATIONAL FIRE CODE, 2021 EDITION (CONTACT STATE FIRE MARSHAL).
- ASHRAE 90.1 2013 ENERGY STANDARD FOR BUILDINGS EXCEPT LOW-RISE RESIDENTIAL BUILDINGS.

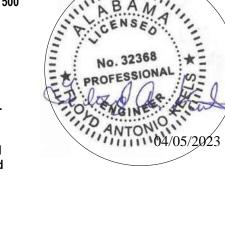
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Road N.E Suite 1225

CD BID SET

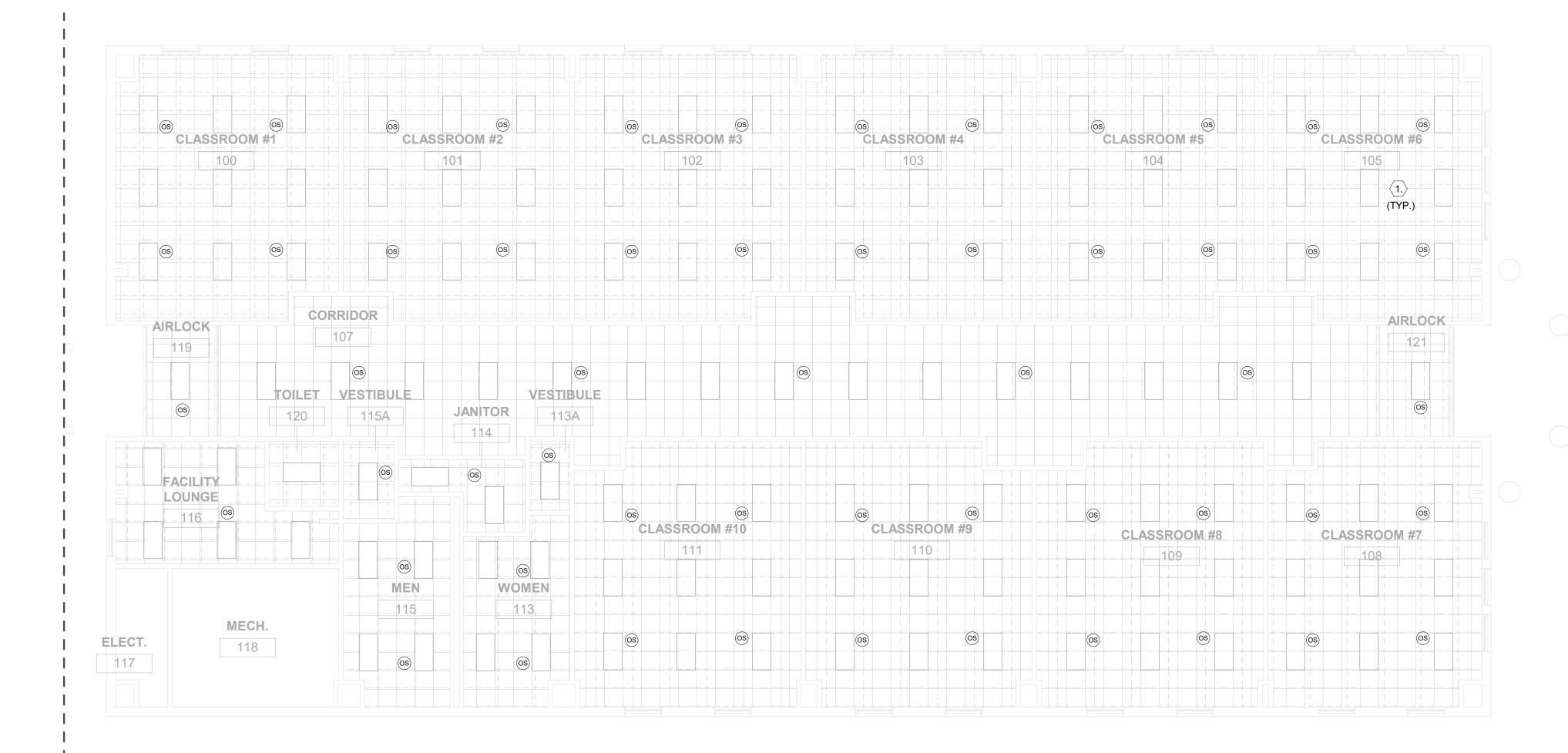
**ALABAMA A&M** UNIVERSITY

Dwg. Coord.: ENSOR Tech. Coord.: FONTANE ELECTRICAL - GENERAL NOTES, LEGENDS & ABBREVIATIONS

**E0.00** 04.05.23

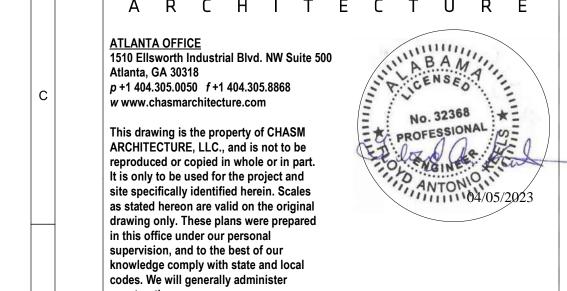
2022024

ELECTRICAL DEMO KEYNOTES Keynote Text DEMOLISH LIGHT FIXTURES BACK TO NEAREST ÉLECTRICAL BOX. DEMOLISH SWITCHES IN LOCATION THAT ARE RECIEVING NEW DIMMER SWITCHES. CHECK EXISTING WIRNG FOR DETERIORATION AND



1 LIGHTING - LEVEL 1 DEMO CEILING PLAN - PARKER ANNEX BLDG

1/8" = 1'-0"



# DATE

1 03/13/2023 1st Revised Final

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PARKER BUILDING
RENOVATION
4900 MERIDIAN STREET N, HUNTSVILLE, AL **ALABAMA A&M** 

1100 Abernathy Road N.E Suite 1225 Atlanta, GA 30328 P: 678-469-6487 www.slking.com UNIVERSITY 2022024 Dwg. Coord.: Author Tech. Coord.: Checker

E1.00 LIGHTING - PARKER ANNEX DEMO CEILING PLAN 04.05.23

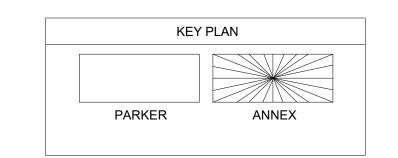
CD BID SET

**KEY PLAN** PARKER

ELECTRICAL DEMO KEYNOTES DEMOLISH LIGHT FIXTURES BACK TO NEAREST ELECTRICAL BOX. DEMOLISH SWITCHES IN LOCATION THAT ARE RECIEVING NEW DIMMER SWITCHES. CHECK EXISTING WIRNG FOR DETERIORATION AND REPLACE AS NECESSARY.

CLASSROOM #1 CLASSROOM #6 AIRLOCK CORRIDOR MECH. 16 MEN RR ELECT. 15

1 LIGHTING - LEVEL 1 DEMO CEILING PLAN - PARKER BLDG
1/8" = 1'-0"





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2022024 Dwg. Coord.: Author Tech. Coord.: Checker LIGHTING - PARKER DEMO

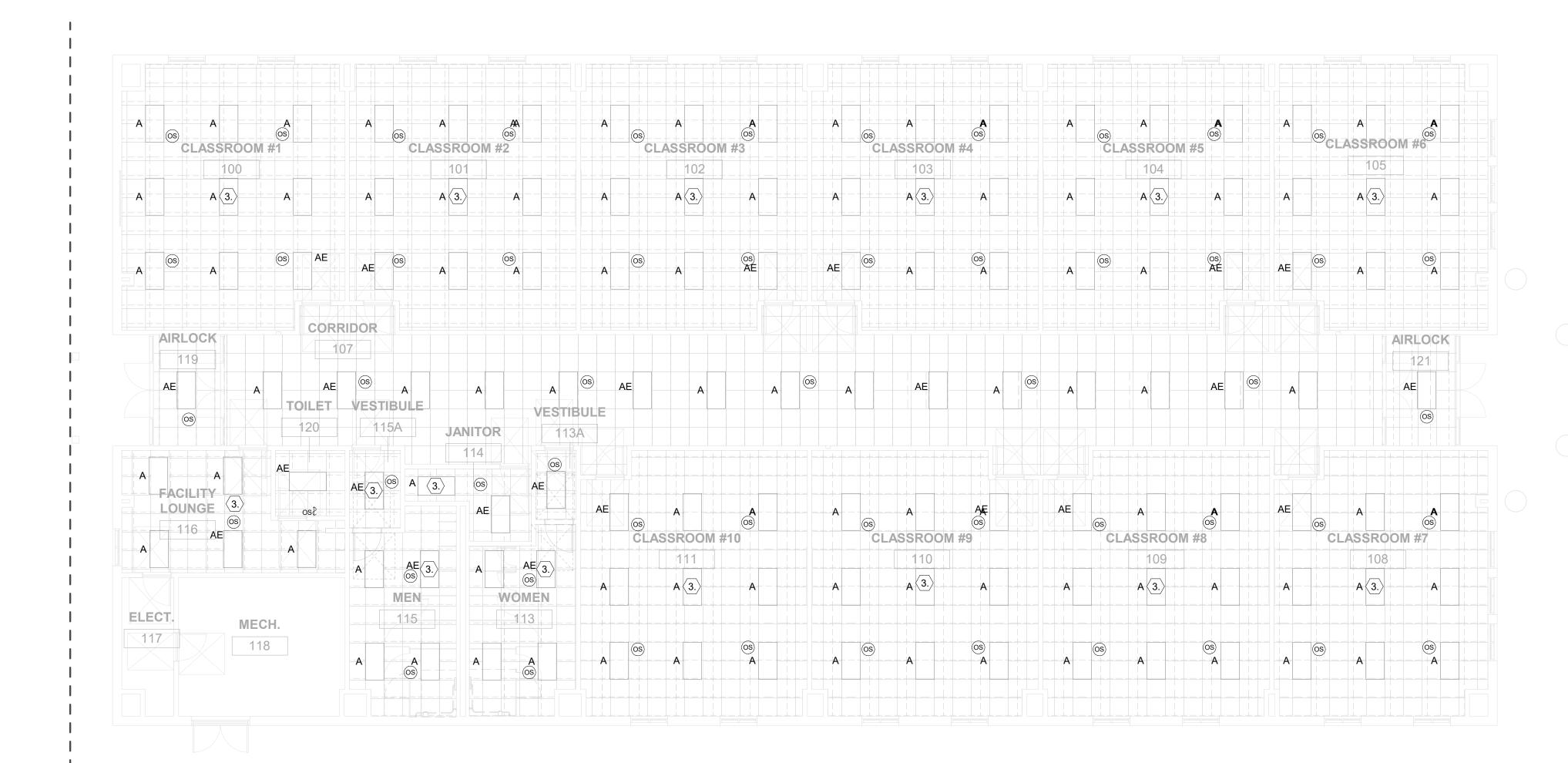
E1.01 **CEILING PLAN** 04.05.23 CD BID SET

ELECTRICAL KEYNOTES

KEY VALUE

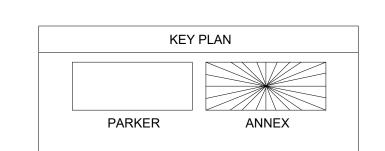
KEYNOTE TEXT

INSTALL NEW FIXTURES AND SWITCHES AS A ONE FOR ONE REPLACEMENT IN THIS ROOM. PROVIDE ANY REQUIRED WIRING TO CONTROL FIXTURES. REUSE EXISTING SPEAKERS KEEP IN EXISTING LOCATION AS CLOSE AS POSSIBLE.



LIGHTING - LEVEL 1 CEILING PLAN - PARKER ANNEX BLDG

1/8" = 1'-0"





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1 03/13/2023 1st Revised Final 2 03/23/2023 2nd Revised Final

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2022024

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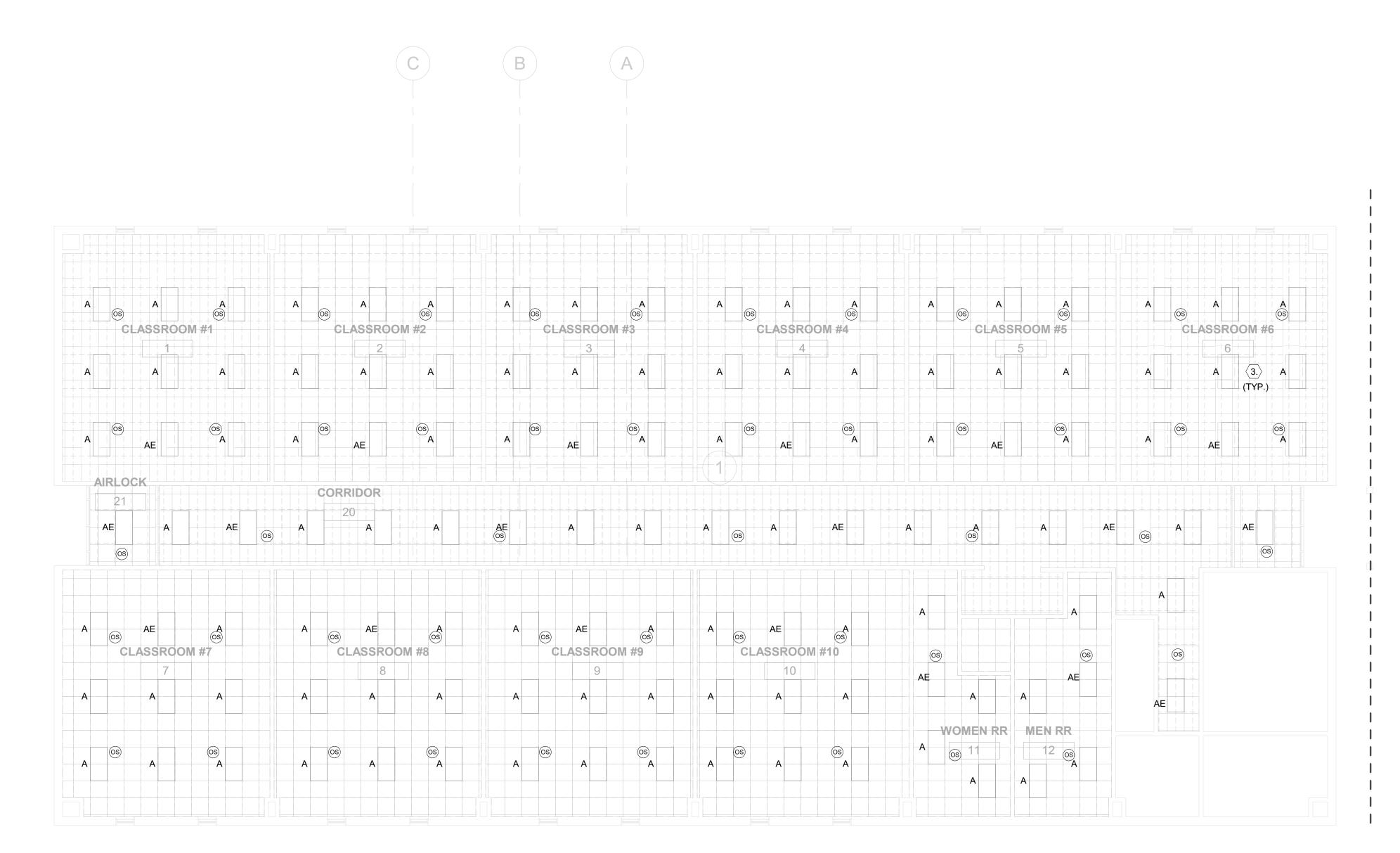
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LIGHTING - PARKER ANNEX
CEILING PLAN

CD BID SET

G - PARKER ANNEX **E2.00**PLAN
04.05.23

ELECTRICAL KEYNOTES KEYNOTE TEXT KEY VALUE INSTALL NEW FIXTURES AND SWITCHES AS A ONE FOR ONE REPLACEMENT IN THIS ROOM. PROVIDE ANY REQUIRED WIRING TO CONTROL FIXTURES. REUSE EXISTING SPEAKERS KEEP IN EXISTING LOCATION AS CLOSE AS POSSIBLE.



LIGHTING - LEVEL 1 CEILING PLAN - PARKER BLDG

1/8" = 1'-0"



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PARKER BUILDING RENOVATION
4900 MERIDIAN STREET N, HUNTSVILLE, AL **KEY PLAN** PARKER

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LIGHTING - PARKER **CEILING PLAN** 

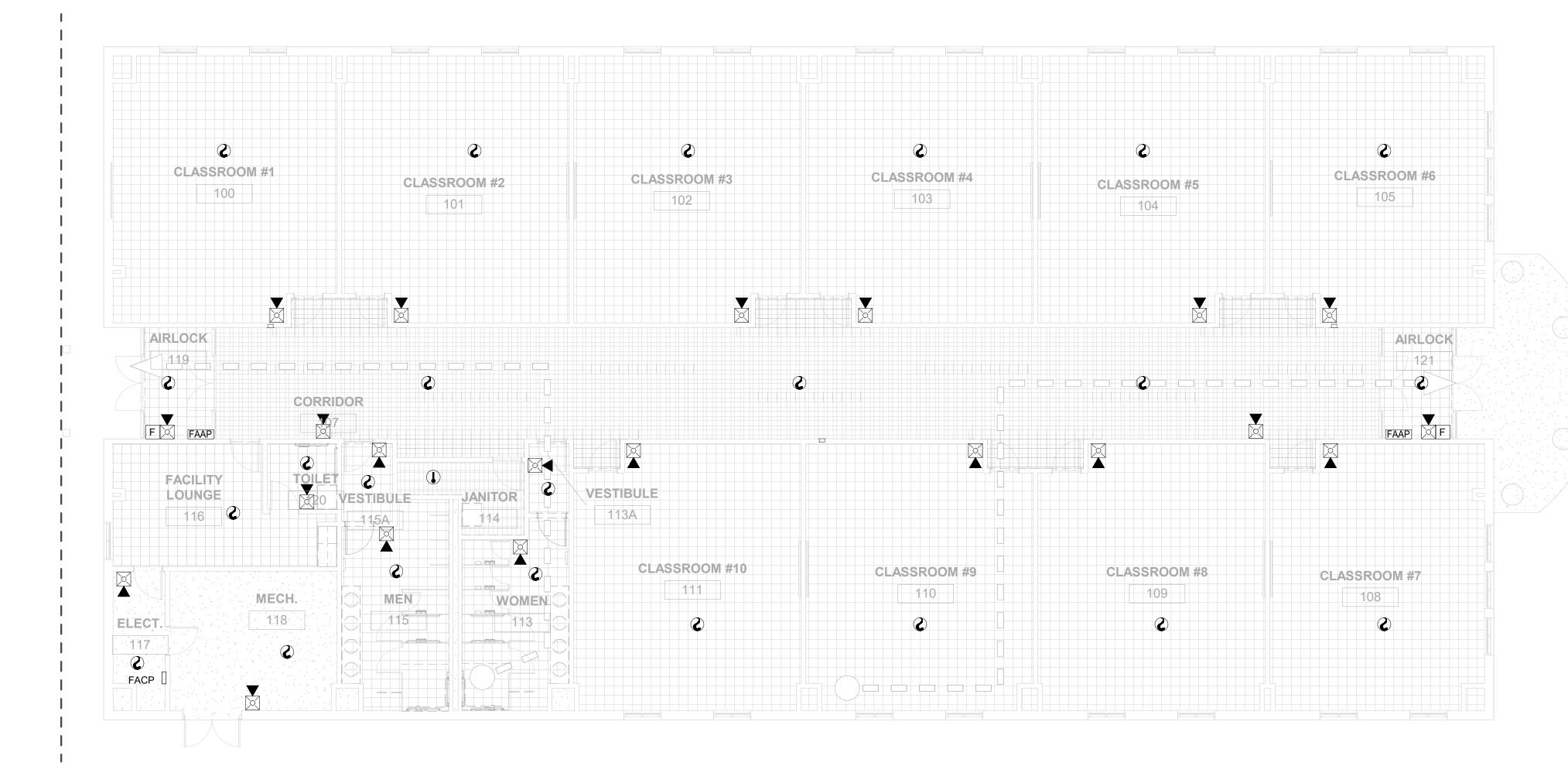
CD BID SET

E2.01 04.05.23 FIRE ALARM NOTES:

1. COORDINATE LOCATION TO USE EXISTING BOXES AND CONDUIT WHERE LOCAL CODE ALLOWS.

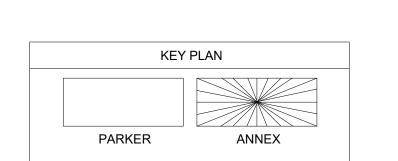
2. PROVIDE NEW FIRE ALARM CONTROL PANEL NEXT TO EXISTING IF SPACE ALLOWS. IF SPACE IS NOT AVAILABLE REPACE PANEL LAST.

3. DEMOLISH EXISTING FIRE ALARM SYSTEM ONCE NEW FIRE ALARM SYSTEM IS READY.



1 FIRE ALARM - LEVEL 1 NEW FLOOR PLAN - PARKER ANNEX BLDG

1/8" = 1'-0"





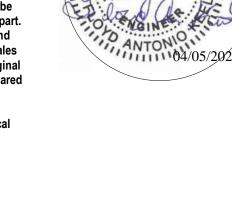
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UNIVERSITY

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FIRE ALARM - PARKER E3\_00

FIRE ALARM - PARKER ANNEX FLOOR PLAN

CD BID SET

E3.00

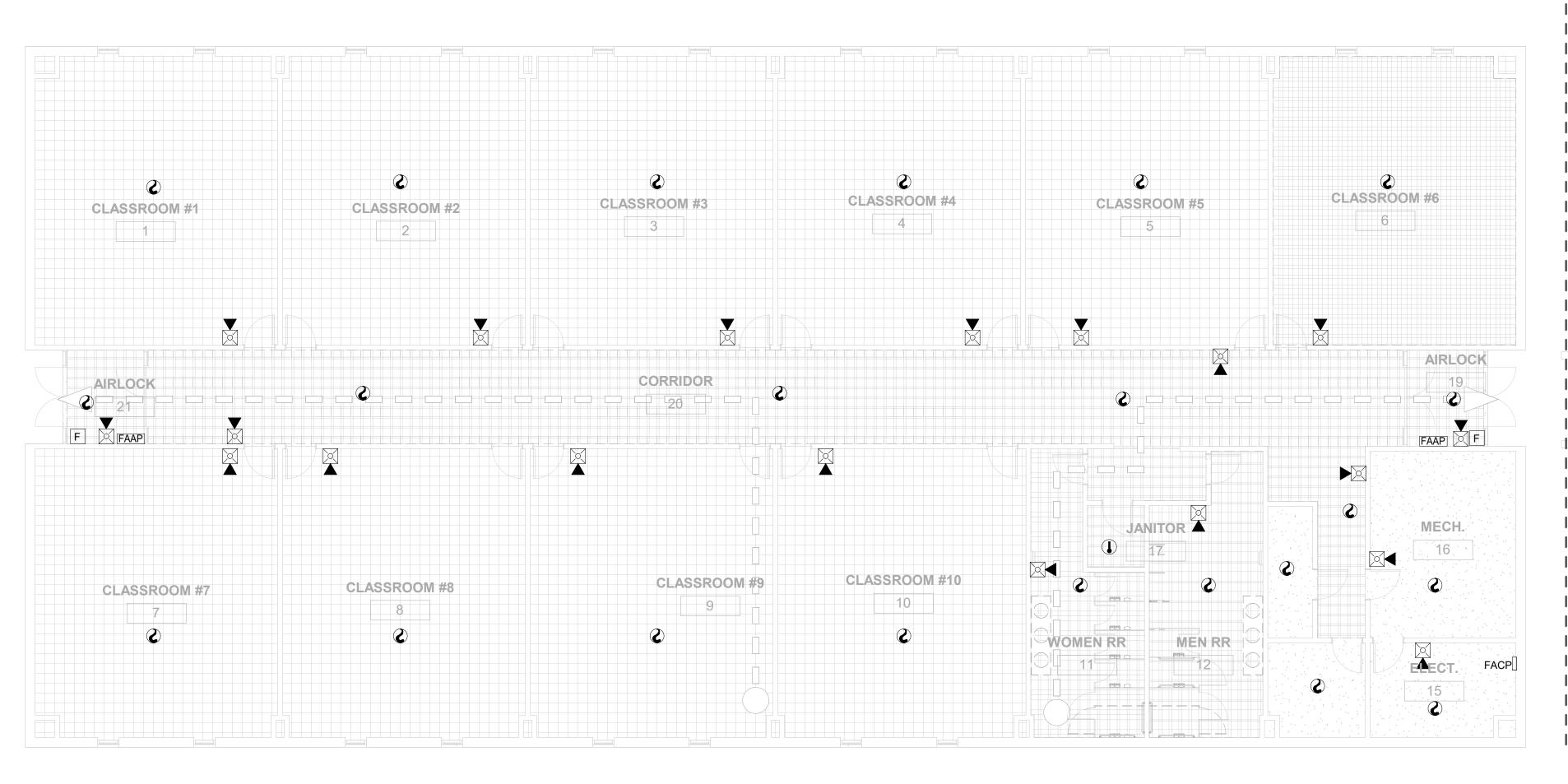
04.05.23

FIRE ALARM NOTES:

1. COORDINATE LOCATION TO USE EXISTING BOXES AND CONDUIT WHERE LOCAL CODE ALLOWS.

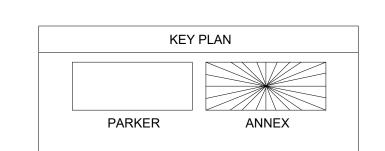
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FIRE ALARM - LEVEL 1 NEW FLOOR PLAN - PARKER BLDG

1/8" = 1'-0"





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FIRE ALARM - PARKER FLOOR PLAN

E3.01 04.05.23 CD BID SET

A. INTERNATIONAL FUEL GAS CODE - 2021 (IFGC 2021)

B. INTERNATIONAL BUILDING CODE - 2021 (IBC 2021) INTERNATONAL RESIDENTIAL CODE - 2015 (IRC 2015)

D. INTERNATIONAL PLUMBING CODE - 2021 (IPC 2021)

E. INTERNATIONAL FIRE CODE - 2021 (IFC 2021) F. INTERNATIONAL EXISTING BUILDING CODE - 2021 (IEBC 2021)

2. PROVIDE ALL WORK AND MATERIALS AS REQUIRED IN THE SPECIFICATIONS AND ON THE DRAWINGS INCLUDING THE FOLLOWING:

A. DOMESTIC WATER B. SANITARY SEWER C. STORM WATER

D. NATURAL GAS

3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY LICENSES AND CERTIFICATIONS

AT THE COMPLETION OF WORK, REMOVE ALL DEBRIS AND CLEAN STAINS CAUSED BY THIS WORK.

5. ALL ABOVE GRADE PIPING SHALL BE PROPERLY SUPPORTED FROM THE BUILDING STRUCTURE AND SHALL NOT REST ON THE FINISHED CEILING.

6. INSTALL ALL EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND IN ACCORDANCE WITH

7. AIR CONDITIONER CONDENSATE DRAIN SHALL BE PIPED TO FLOOR DRAINS IN MECHANICAL CLOSETS. PLUMBING CONTRACTOR SHALL PROVIDE RISER SYSTEM AND HVAC CONTRACTOR SHALL INSTALL CONDENSATE DRAIN BETWEEN

8. WATER HEATER TEMPERATURE/PRESSURE RELIEF VALVE SHALL BE PIPED TO FLOOR DRAIN.

9. WATER SERVICE PIPING BELOW GRADE SHALL BE TYPE K COPPER TUBING WITH APPROVED RED BRASS FITTINGS.

10. WATER SERVICE PIPE THROUGH THE WALL AND FLOOR SLAB SHALL BE PROTECTED WITH SLEEVE WITH WATERTIGHT SEAL ACCORDING TO CODE.

11. DOMESTIC WATER DISTRIBUTION PIPING SHALL BE SEAMLESS TYPE "L" COPPER WITH WROUGHT COPPER FITTINGS AND 95-5 SOLDER. SOLDER CONTAINING LEAD IS NOT ACCEPTABLE.

12. ALL HOT AND COLD WATER RUNOUTS IN DWELLING UNITS SHALL BE 1/2" UNLESS OTHERWISE NOTED.

13. PROVIDE SHUTOFF VALVES AT EACH FIXTURE LOCATION.

THE REQUIREMENTS OF THE ELECTRICAL DRAWINGS.

14. NO WATER PIPING SHALL BE INSTALLED IN EXTERIOR WALLS OR IN THE ATTIC, EVEN IF LOCATED ON THE INTERIOR SIDE OF THE INSULATION.

15. ABOVE GROUND SANITARY AND VENT PIPING AND FITTINGS SHALL BE SERVICE WEIGHT CAST IRON NO HUB PER CISPI-301 WITH JOINTS MADE USING STAINLESS STEEL COUPLINGS.

16. BELOW GROUND SANITARY AND VENT PIPING AND FITTINGS SHALL BE SERVICE WEIGHT CAST IRON BELL AND SPIGOT WITH JOINTS MADE USING LEAD AND OAKUM.

17. SANITARY LINES SHALL BE INSTALLED WITH A MINIMUM SLOPE OF 1/8" PER FOOT FOR 4" AND LARGER PIPES, 1/4" PER FOOT FOR 3" AND SMALLER PIPES.

18. ALL VENTS THROUGH ROOF SHALL BE PROVIDED WITH 4" PIPE VENT EXTENSIONS THROUGH THE ROOF.

19. ABOVE GROUND STORM PIPING AND FITTINGS SHALL BE SERVICE WEIGHT CAST IRON NO HUB PER CISPI-301 WITH JOINTS MADE USING STAINLESS STEEL COUPLINGS.

20. BELOW GROUND STORM PIPING AND FITTINGS SHALL BE SERVICE WEIGHT CAST IRON BELL AND SPIGOT WITH JOINTS MADE USING LEAD AND OAKUM.

21. STORM LINES SHALL BE INSTALLED WITH A MINIMUM SLOPE OF 1/8" PER FOOT FOR 4" AND LARGER PIPES, 1/4" PER FOOT FOR 3" AND SMALLER PIPES.

22. EXTERIOR NATURAL GAS PIPING ABOVE GRADE SHALL BE SCHEDULE 40 BLACK CARBON STEEL. ASTM A-120 FOR 2 INCH AND SMALLER OR ASTM A-53 FOR 2-1/2 INCH AND LARGER. CONNECTIONS FOR 2 INCH AND SMALLER SHALL BE MADE WITH SCREWED MALEABLE IRON FITTINGS. CONNECTIONS FOR 2-1/2 INCH AND LARGER SHALL BE MADE WITH WELD FITTINGS. FITTINGS IN CONCEALED SPACES SHALL BE PER INTERNATIONAL FUEL GAS CODE. GAS VALVES SHALL BE EQUAL TO CRANE NO. 252 FOR 2 INCH AND SMALLER, AND CRANE NO. 325 FOR 2-1/2 INCH AND LARGER. DRIP LEG AND FINAL CONNECTION IN BLACK STEEL WITH MALEABLE THREADED FITTINGS. ALL NATURAL GAS PIPING BETWEEN THE UTILITY METER AND EQUIPMENT/APPLIANCES SHALL BE BY THE PLUMBING CONTRACTOR.

23. THE CONTRACT DRAWINGS ARE DIAGRAMATIC AND INDICATE THE INTENT OF THE CODE REQUIREMENTS. PIPING SHALL BE ROUTED UP, DOWN AND OFFSET AS REQUIRED TO SUIT FIELD CONDITIONS. DIELECTRIC COUPLINGS SHALL BE USED WHERE DISSIMILAR METALS ARE JOINED.

24. PIPING HANGERS SHALL BE SPACED SO AS TO PREVENT SAG AND PERMIT PROPER DRAINAGE AND SHALL NOT BE SPACED MORE THAN EIGHT (8) FEET APART UNLESS A GREATER SPACE IS DEFINITELY INDICATED ON THE DRAWINGS. A HANGER SHALL BE PLACED WITHIN ONE (1) FOOT OF EACH HORIZONTAL ELBOW. HANGERS SHALL BE SIZED TO FIT OVER INSULATION AND BE PROVIDED WITH AN INSULATION SHIELD.

25. CONDENSATE DRAIN PIPING AND FITTINGS SHALL BE COPPER.

26. INDIRECT WASTE PIPING SHALL BE COPPER.

27. THE INSTALLATION OF ALL INSULATION SHALL BE PERFORMED BY AN EXPERIENCED CRAFTSMAN IN A NEAT WORKMANLIKE MANNER AND SHALL BE IN ACCORDANCE WITH MANUFACTURER'S PUBLISHED RECOMMENDATIONS FOR SERVICE

28. ALL MATERIALS OF INSULATION SHALL BE OF THE TYPE AND QUALITY AS MANUFACTURED BY ARMSTRONG, CERTAINTED, OWENS-CORNING OR SCHULLER. AL MATERIAL AND EQUIPMENT SPECIFIED TO BE INSULATED SHALL BE THOROUGHLY TESTED AND APPROVED PRIOR TO APPLYING THE INSULATION.

29. DOMESTIC WATER PIPING AND FITTINGS SHALL BE INSULATED PER THE SPECIFICATIONS.

30. CONDENSATE DRAIN PIPING SHALL BE INSULATED WITH 1" THICK ARMSTRONG "ARMAFLEX" OR EQUAL. EXTERIOR INSULATION SHALL BE COATED WITH ULTRAVIOLET RESISTANT MATERIAL IN ACCORDANCE WITH THE MANUFACTURER'S

31. SHUTOFF VALVES SHALL BE EQUAL TO NIBCO MODEL S-113 SOLDERED JOINT, MODEL T-113 THREADED JOINT, BRONZE GATE VALVE NONRISING STEM, 200 PSI W.O.G. AND 125 PSI S.W.P.

32. BALL VALVES SHALL BE EQUAL TO NIBCO SERIES 580, BRONZE, I RATED FOR 400 PSI W.O.G.

33. VACUUM BREAKER SHALL HAVE BRONZE INTERNAL TRIM, CHROME FINISH, AND A MAXIMUM TEMPERATURE OF 210 DEGREES F. AT 125 lbs. WORKING PRESSURE EQUAL TO WATTS 7 SERIES.

34. POTABLE WATER PIPING SHALL BE DISINFECTED PRIOR TO USE PER ANSI/AWA STANDARD C651-92 OR LOCAL REQUIREMENTS. THE PIPING SHALL BE FILLED WITH A WATER-CHLORINE SOLUTION CONTAINING AT LEAST 50 PARTS PER MILLION OF CHLORINE AND SHALL BE VALVED OFF FOR 24 HOURS OR FILLED WITH A WATER -CHLORINE SOLUTION CONTAINING AT LEAST 200 PARTS PER MILLION OF CHLORINE AND ALLOWED TO STAND FOR AT LEAST 3 HOURS. FOLLOWING THE ALLOWED STANDING TIME , THE SYSTEM SHALL BE FLUSHED WITH POTABLE WATER UNTIL NO CHLORINE REMAINS IN THE SYSTEM.

35. PROVIDE EACH FLOR DRAIN WITH A TRAP GUARD AS MANUFACTURED BY PROSET OR SIMILAR PRODUCT.

36. PROVIDE WATER HAMMER ARRESTORS AT CLOTHES WASHING MACHINES.

37. PROVIDE EXPANSION TANK ON WATER HEATERS.

38. PROVIDE INSULATION ON SANITARY TRAP AND WATER SUPPLIES BELOW ADA SINKS AND LAVATORIES.

39. ALL COMPONENTS OF THE POTABLE WATER SYSTEM SHALL COMPLY WITH THE FEDERAL STATE BILL S.3874 ("REDUCTION OF LEAD IN DRINKING WATER ACT") AS IT PERTAINS TO LEAD IN DRINKING WATER.

40. PROVIDE EXPANSION LOOP ON DOMESTIC HOT WATER AND HOT WATER RETURN PIPING WHEREVER STRAIGHT LENGTHS EXCEED 100 FT. LENGTH OF EXPANSION LOOP SHALL BE A TOTAL OF 60 INCHES. PROVIDE ANCHORS AT ENDS OF STRAIGHT PIPE RUN AND PIPE GUIDES AT EITHER SIDE OF EXPANSION LOOP.

#### **GENERAL NOTES**

1. THE SUBMISSION OF A PROPOSAL BY THE CONTRACTOR IS NOTIFICATION THAT HE HAS TOTALLY FAMILIARIZED HIMSELF WITH THE CONTRACT DOCUMENTS AND EXISTING SITE CONDITIONS AND HAS AGREED TO PROVIDE THE NECESSARY LABOR AND MATERIAL FOR THE COMPLETE INSTALLATION OF EACH SYSTEM IN A NEAT AND WORKMANLIKE MANNER IN ACCORDANCE WITH THE BEST PRACTICES OF THE INDUSTRY AND IN COMPLIANCE WITH ALL AUTHORITIES HAVING

2. THE CONTRACT DRAWINGS ARE PRESENTED TO THE CONTRACTOR WITH THE UNDERSTANDING THAT HE IS AN EXPERT AND COMPETENT IN THE PREPARATION OF CONTRACT BID PRICES ON THE BASIS OF INFORMATION SUCH AS CONTAINED IN THE CONTRACT DOCUMENTS. IT IS THE INTENT OF THE CONTRACT DRAWINGS AND SPECIFICATIONS TO CALL FOR FINISHED WORK, TESTED AND READY FOR OPERATION AND IN COMPLETE CONFORMANCE WITH ALL APPLICABLE CODES, RULES AND REGULATIONS. MINOR ITEMS NOT USUALLY SHOWN OR SPECIFIED, BUT MANIFESTED NECESSARY FOR THE PROPER INSTALLATION AND OPERATION OF THE VARIOUS SYSTEMS SHAL BE INCLUDED IN THE WORK AND IN THE PROPOSAL THE SAME AS SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS. IF ANY DEPARTURES FROM THE CONTRACT DRAWINGS ARE DEEMED NECESSARY, DETAILS OF SUCH DEPARTURES AND THE REASON THEREFORE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL. NO DEPARTURES SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE ENGINEER.

3. VISIT THE SITE AND VERIFY ALL DIMENSIONS IN THE FIELD, AND ADVISE THE ARCHITECT / ENGINEER AND THE OWNER OF ANY DISCREPANCIES BEFORE PERFORMING THE WORK.

4. THE CONTRACT DOCUMENTS INDICATE ARRANGEMENTS AND APPROXIMATE SIZES AND RELATIVE LOCATIONS OF PRINCIPAL APPARATUS, EQUIPMENT, DEVICES AND SERVICES TO BE PROVIDED. CONTRACT DRAWINGS ARE DIAGRAMATIC AND ARE A GRAPHIC REPRESENTATION OF CONTRACT REQUIREMENTS TO BEST AVAILABLE STANDARDS AT THE SCALE INDICATED.

5. LAYOUT OF EQUIPMENT INDICATED ON THE CONTRACT DRAWINGS SHALL BE CHECKED AND COMPARED AGAINST ALL DRAWINGS AND SPECIFICATIONS OF ALL TRADES AND EXACT LOCATIONS USING APPROVED SHOP DRAWINGS OF SUCH EQUIPMENT. WHERE PHYSICAL INTERFERENCE OCCURS, CONSULT WITH ENGINEER AND PREPARE DATED, DIMENSIONED DRAWINGS COORDINATED WITH ALL OTHER TRADES WORK IN THE AREA AND CORRECTING SUCH INTERFERENCES. OBTAIN WRITTEN APPROVAL OF ENGINEER FOR SUCH DRAWINGS AND DISTRIBUTE SAME AS

6. COORDINATE ALL WORK WITH THE OWNER AND ALL OTHER CONTRACTORS. SCHEDULE WORK IN ACCORDANCE WITH THE CONSTRUCTION SCHEDULE SO THAT ALL THE WORK CAN BE INSTALLED WITHOUT DELAYING THE PROJECT.

7. PREPARE FULLY DIMENSIONED FIELD INSTALLATION DRAWINGS. THESE DRAWINGS SHALL BE FORWARDED TO ALL CONTRACTORS. EACH CONTRACTOR SHALL SUBSEQUENTLY IN SUCCESSION DELINEATE HIS RESPECTIVE WORK ON THESE COORDINATION DRAWINGS. WHEN ALL WORK HAS BEN PROPERLY SHOWN ON THE COORDINATION DRAWINGS, AND ALL CONTRACTORS AGREE THAT THEIR RESPECTIVE WORK CAN BE INSTALLED AND WILL PROPERLY FIT TOGETHER. THEY SHALL SO ACKNOWLEDGE BY ENDORSING THE DRAWING(S), ANY WORK DONE PRIOR TO COMPLETION OF ABOVE COORDINATION PROCESS FOUND IN CONFLICT SHALL BE REMOVED AND REPLACED AT CONTRACTOR'S EXPENSE.

8. SECURE AND PAY ALL FEES AND PERMITS PERTAINING TO THE CONTRACT.

SHALL BE REPLACED AT CONTRACTOR EXPENSE.

9. ALL EQUIPMENT SHALL BE INSTALLED IN STRICT COMPLIANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.

10. SCHEDULE ALL SHUTDOWNS THAT EFFECT UTILITIES AND PORTIONS OF THE BUILDING THAT MUST REMAIN IN OPERATION WITH THE OWNER.

11. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RIGGING, HANDLING AND PROTECTION OF MATERIALS. ALL EQUIPMENT AND MATERIALS SHALL BE NEW AND WITHOUT BLEMISH OR DEFECT. 12. WHERE PIPING PASSES THROUGH FIRE RATED FLOORS AND WALLS, THE PENETRATION SHALL BE COMPLETELY SEALED WITH A FIRE STOP MATERIAL THAT IS UL LISTED AND ACCEPTED BY THE BUILDING DEPARTMENT AND FIRE DEPARTMENT

AS BEING SUITABLE FOR THIS SERVICE. THIS MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE

13. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SLAB OPENINGS, WALL OPENINGS, AND CORING AS IT RELATES TO HIS WORK, CONTRACTOR SHALL SUBMIT SIZE AND LOCATION TO THE STRUCTURAL ENGINEER FOR REVIEW AND APROVAL. STRUCTURAL ELEMENTS SHALL NOT BE PENETRATED WITHOUT PRIOR APPROVAL OF STRUCTURAL ENGINEER.

REQUIREMENTS OF THE MANUFACTURER TO MAINTAIN THE UL LISTED FIRE RATING OF THE PENETRATED WALL OR

14. SUBMIT SCHEDULE OF SUBMITTALS PRIOR TO SUBMITTING ANY SHOP DRAWINGS. THIS SCHEDULE SHALL IDENTIFY ALL PRODUCT DATA, DRAWINGS, ETC. TO BE SUBMITTED FOR THIS PROJECT, INCLUDING ANY ANTICIPATED DATE OF EACH SUBMISSION. COMPLY WITH THE REQUIREMENTS OF DIVISION 1 OF THE SPECIFICATIONS. ANY WORK INSTALLED OR EQUIPMENT PURCHASED PRIOR TO RECEIPT OF ENGINEER REVIEWED SHOP DRAWINGS THAT REQUIRES CHANGES

5. SUBMIT CATALOG INFORMATION, FACTORY ASSEMBLY DRAWINGS AND FIELD INSTALLATION DRAWINGS AS REQUIRED FOR A COMPLETE EXPLANATION AND DESCRIPTION OF ALL ITEMS PROVIDED. THE CONTRACTOR SHALL REVIEW AND APPROVE ALL SHOP DRAWINGS. NO SUBMISSION SHALL BE ACCEPTED WITHOUT THE SIGNED APPROVAL OF THE CONTRACTOR. THE CONTRACTOR SHALL CHECK AND VERIFY ALL FIELD MEASUREMENTS.

16. PROVIDE AS-BUILT DOCUMENTS AND OPERATING / MAINTENANCE MANUALS AS SPECIFIED IN DIVISION 1 OF THE SPECIFICATIONS.

17. INSTALLED SYSTEMS SHALL OPERATE UNDER ALL CONDITIONS OF LOAD WITHOUT SOUND OR VIBRATION THAT IS OBJECTIONABLE TO THE ENGINEER, ARCHITECT OR OWNER. OBJECTIONABLE SOUND OR VIBRATION CONDITIONS

18. FURNISH ACCESS DOORS AS REQUIRED FOR OPERATION AND MAINTENANCE OF CONCEALED EQUIPMENT, VALVES AND CONTROLS, ETC., AND COORDINATE THEIR DELIVERY WITH THE INSTALLING TRADE.

19. ALL WORK FURNISHED UNDER THE CONTRACT SHALL BE GUARANTEED AGAINST ANY AND ALL DEFECTS IN WORKMANSHIP AND/OR MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE INSTALLATION. ANY DEFECTS OF WORKMANSHIP DEVELOPING DURING THIS PERIOD SHALL BE REMEDIED AND ANY DEFECTIVE MATERIAL REPLACED WITHOUT ADDITIONAL COST.

20. NOTIFY ENGINEER OF ESTIMATED DATE OF COMPLETION OF ROUGH-IN WORK AND DATE OF BOTH WALL AND CEILING INSTALLATION. NOTIFICATION SHALL BE A MINIMUM OF ONE WEEK PRIOR TO COMPLETION DATE TO ENABLE ENGINEER SCHEDULING OF PRELIMINARY PUNCHLIST INSPECTION PRIOR TO WALL AND CEILING INSTALLATION. CONTRACTOR SHALL SIMILARLY NOTIFY ENGINEER OF COMPLETION OF ALL WORK, INDICATING THE CONTRACTOR IS READY FOR THE

21. UPON COMPLETION OF ALL UNFINISHED OR FAULTY WORK NOTED IN ENGINEER'S PUNCHLIST, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER IN WRITING A LETTER OF COMPLETION CERTIFYING THAT ALL PUNCHLIST ITEMS HAVE BEEN COMPLETED AND ALL AS-BUILTS, MANUALS, ETC. HAVE BEEN SUBMITTED.

22. CONTRACTOR SHALL COORDINATE WORK WITH EEBA DETAILS SHOWN ON DRAWING A902.

ENGINEER TO PERFORM THE FINAL PUNCHLIST INSPECTION.

SHALL BE CORRECTED IN APPROVED MANNER BY THE CONTRACTOR AT HIS EXPENSE.

#### PLUMBING FIXTURE SCHEDULE EQUIP. NO. MANUFACTURER CW | HW | W | V | NOTES (ADA) BI-LEVEL, IN-WALL, NON-FILTERED ELECTRIC WATER COOLER W/BASINS (BARRIER FREE) 1/2" - |1 1/2"|1 1/2"| EWC-1 ERFP28K ELKAY 8.0 GPH CAPACITY, 370 RATED WATTS, 5.0 F.L.A., 120-1-60. (ADA) UNDERMOUNT SINK, VITREOUS CHINA, OVERFLOW DRAIN. FAUCET: k-46029-4-CP SINGLE LEVER FAUCET, GRID DRAIN, SINGLE HOLE INSTALLATION. (0.5 GPM) KOHLER 1/2" | 1/2" | 1 1/2" | 1 1/2" | SUPPLY: 3/8" WITH ANGLE STOPS TRAP: 1 1/4" CAST BRASS, INSULATE PER ADA. 32"x32" MOLDED STONE FLOOR MOUNTED MOP BASIN W/STAINLESS STEEL GUARDS 1/2" | 1/2" | 3" | 2" | FIAT FAUCET - FIAT 830 AA W/VACUUM BREAKER, INTEGRAL STOPS, ADJ. WALL BRACE, PAIL HOOK & 3/4" HOSE TREAD ON SPOUT SINGLE-COMPARTMENT, 18 GA. STAINLESS STEEL SINK, 7.5" DEEP BOWL FAUCET - ZURN Z74600-4, 2.2 GPM, 3.5" SWING GOOSENECK SPOUT, A.D.A. CUP STRAINER - Z8740-PC 1/2" | 1/2" | 1 1/2" | 1 1/2" | ELKAY LR2219 SUPPLY - 1/2" ANGLE-TYPE WITH STOPS TRAP - 1 1/2" CAST BRASS WITH C.O. PLUG ASSE 1070 MIXING VALVE KIT WASHOUT WALL-MOUNT 0.125 GPF URINAL WITH REAR SPUD KOHLER K-54-52-ER-0 1" - |1 1/2" |1 1/2" BOWL: (ADA) VITREOUS CHINA, FLOOR MOUNTED, TOP SPUD, FULLY GLAZED TRAP WAY, SIPHON JET ACTION FLUSH AND ELONGATED WC-1 KOHLER VALVE: MANUAL, BRONZE BODY, ACCESSORIES SHALL INCLUDE VACCUUM BREAKER, ANGLE STOP, CHECK VALVE AND ESCUTCHEON. 1" - 4" 2" K-4405 SEAT: EXTRA HEAVY WEIGHT PLASTIC, OPEN FRONT LESS COVER, INTEGRALLY MOULDED BUMPERS, BOLT CAPS AND STAINLESS STEEL BOWL: (ADA) VITREOUS CHINA, FLOOR MOUNTED, TOP SPUD, FULLY GLAZED TRAP WAY, SIPHON JET ACTION FLUSH AND ELONGATED WC-1A KOHLER K-4405 1" - 4" 2"

NOTE:

1. PROVIDE TEMPERING VALVES ON LAVATORIES OF ALL SUITES AND PUBLIC LAVATORIES. 2021 IPC 419.5 TEMPERED WATER FOR PUBLIC HAND-WASHING FACILITIES. TEMPERED WATER SHALL BE DELIVERED THROUGH AN APPROVED WATER-TEMPERATURE LIMITING DEVICE THAT CONFORMS TO ASSE 1070 OR CSA B125.3.

SHEET LIST - PLUMBING

P0.00 PLUMBING - GENERAL NOTES & LEGENDS

P1.00 PLUMBING - PARKER ANNEX DEMO FLOOR PLAN P1.01 PLUMBING - PARKER DEMO FLOOR PLAN P2.00 PLUMBING - PARKER ANNEX FLOOR PLAN

P2.02 PLUMBING - PARKER FLOOR PLAN

P3.00 PLUMBING DETAILS

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# DATE

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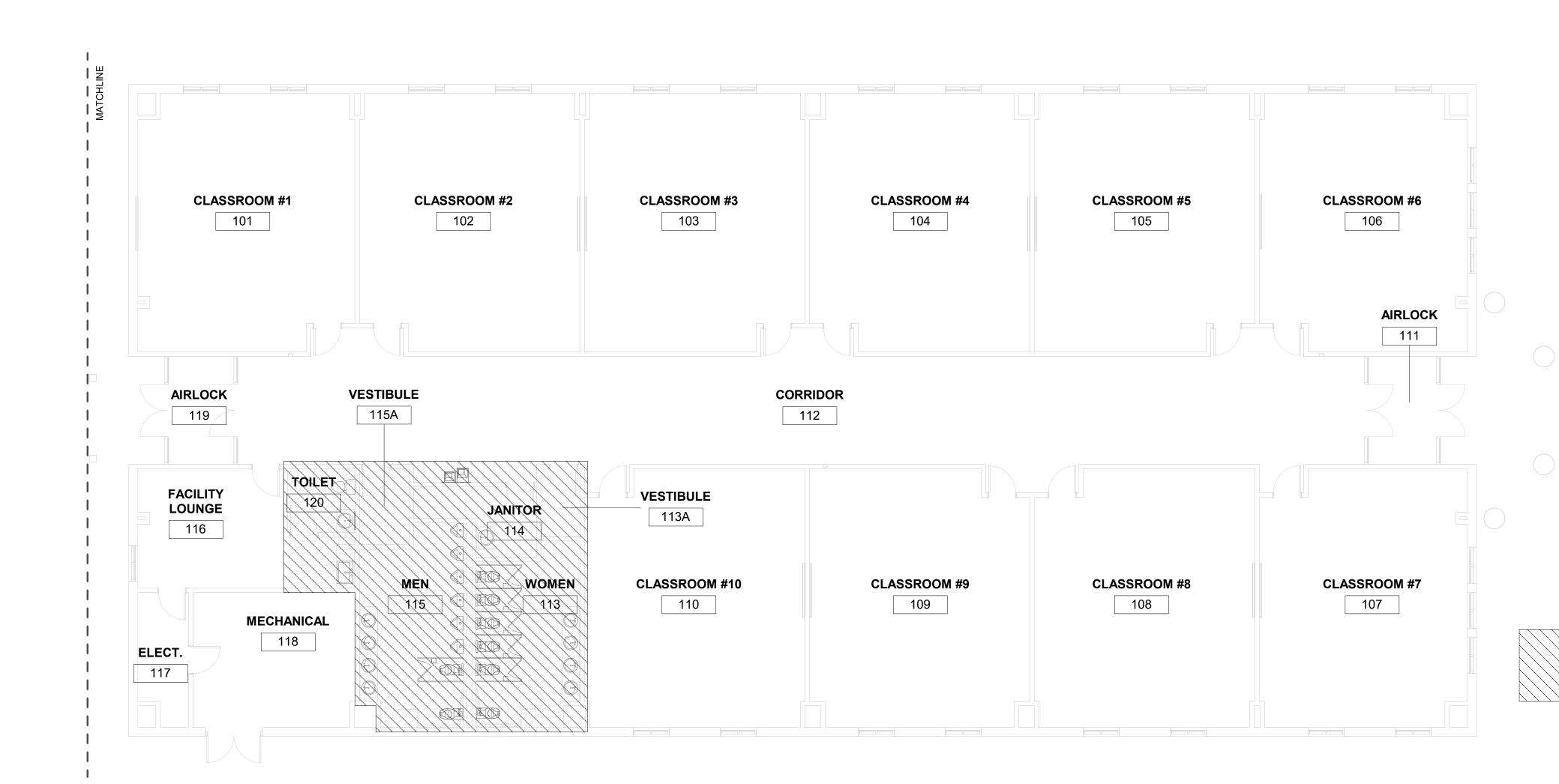
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**ALABAMA A&M** UNIVERSITY

Dwg. Coord.: WD Tech. Coord.: VT PLUMBING - GENERAL NOTES & LEGENDS

P0.00 04.05.23

2022024



**AREA OF DEMOLITION** 

EXISTING PLUMBING FIXTURE TO BE REPLACED IN PLACE. EXISTING ROUGH-IN TO REMAIN FOR NEW FIXTURES. REPLACE STOPS AND SUPPLY HOSES WITH NEW. SEE ARCHITECTURAL DRAWINGS FOR DETAIL. CONTRACTOR VERIFY IN FIELD.

1 P1.00 PLUMBING - LEVEL 1 DEMO FLOOR PLAN - PARKER ANNEX BLDG

# PLUMBING DEMOLITION NOTES

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPLACE ANY ITEM OR EQUIPMENT DAMAGED DURING DEMOLITION. ANY ITEM OR EQUIPMENT THAT IS REMOVED TO FACILITATE THE DEMOLITION SHALL BE REINSTALLED BACK TO ITS ORIGINAL CONDITION.

2. ALL OPENINGS AND SURFACES MADE BARE BY DEMOLITION AND/OR REMOVAL OF AIR OUTLETS, EQUIPMENT, CONTROLS, ETC. SHALL BE REPAIRED AND/OR PATCHED TO MATCH ADJACENT FINISH. PREPARE SURFACES TO RECEIVE NEW FINISH, SEE ARCHITECTURAL DRAWINGS FOR NEW FINISH SCHEDULE. ALL REPAIRS AND NEW FINISHES SHALL BE BY TRADES SKILLED IN FINISH WORKS.

3. REMOVE ALL HANGERS, SUPPORTS, AND ACCESSORIES ASSOCIATED WITH ITEMS OR EQUIPMENT

4. EXISTING SERVICES ARE BASED ON ORIGINAL DRAWINGS AND LIMITED FIELD WORK. CONTRACTOR

SHALL VERIFY IN FIELD EXISTING SERVICES PRIOR TO TIE-IN.

5. CONTRACTOR SHALL COORDINATE WITH OWNER TO SCHEDULE ANY UTILITY SHUTDOWNS PROVIDE TEMPORARY CONNECTIONS AS REQUIRED TO MAINTAIN ALL NECESSARY SERVICES.

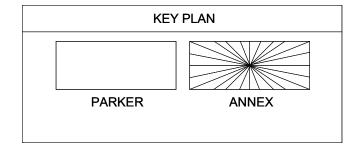
6. IF REQUIRED, CONTRACTOR SHALL COORDINATE WITH OWNER TO DETERMINE THE SALVAGE VALUE OF DEMOLISHED ITEMS. RECYCLABLE ITEMS WITHOUT SALVAGE VALUE SHALL BE PRESENTED TO RECYCLING FACILITY.

7. WHERE WALLS, FLOORS OR CEILING ARE TO BE DEMOLISHED, ALL MATERIAL, SURFACE OR FLUSH

MOUNTED THEREON SHALL BE REMOVED UNLESS INDICATED OR REQUIRED TO REMAIN TO SERVE

8. COORDINATE DEMOLITION WITH ALL TRADES INVOLVED.

BEING DEMOLISHED, UNLESS OTHERWISE NOTED.





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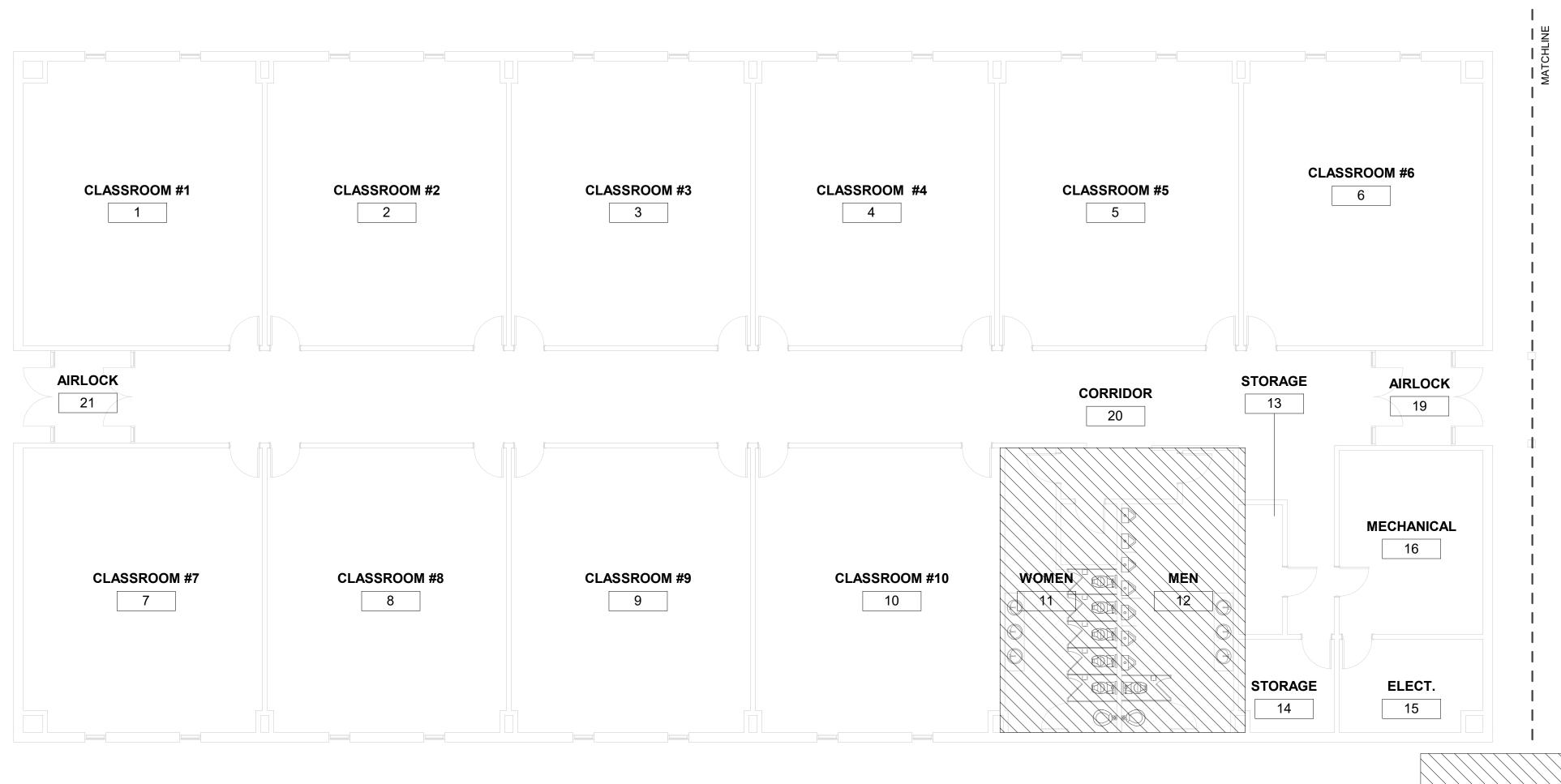
ENGINEERS . PLANNERS . MANAGERS 35811

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2022024 PLUMBING - PARKER ANNEX DEMO FLOOR PLAN

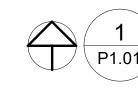
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# **AREA OF DEMOLITION**

CLG SERVING EXISTING FIXTURES ABOVE BEING DEMOLISHED. LEAVE NO DEAD-ENDS LONGER THAN 2'-0". REMOVE EXISTING PIPING TO ACTIVE MAIN. PLUG SANITARY DRAINS FOR FUTURE CONNECTION OF NEW FIXTURES



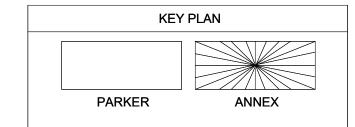
1 Plumbing - Level 1 Demo Floor Plan - Parker blog - DW

1/8" = 1'-0"

# PLUMBING DEMOLITION NOTES

8. COORDINATE DEMOLITION WITH ALL TRADES INVOLVED.

- 1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPLACE ANY ITEM OR EQUIPMENT DAMAGED DURING DEMOLITION. ANY ITEM OR EQUIPMENT THAT IS REMOVED TO FACILITATE THE DEMOLITION SHALL BE REINSTALLED BACK TO ITS ORIGINAL CONDITION.
- 2. ALL OPENINGS AND SURFACES MADE BARE BY DEMOLITION AND/OR REMOVAL OF AIR OUTLETS, EQUIPMENT, CONTROLS, ETC. SHALL BE REPAIRED AND/OR PATCHED TO MATCH ADJACENT FINISH. PREPARE SURFACES TO RECEIVE NEW FINISH, SEE ARCHITECTURAL DRAWINGS FOR NEW FINISH SCHEDULE. ALL REPAIRS AND NEW FINISHES SHALL BE BY TRADES SKILLED IN FINISH WORKS.
- 3. REMOVE ALL HANGERS, SUPPORTS, AND ACCESSORIES ASSOCIATED WITH ITEMS OR EQUIPMENT BEING DEMOLISHED, UNLESS OTHERWISE NOTED.
- 4. EXISTING SERVICES ARE BASED ON ORIGINAL DRAWINGS AND LIMITED FIELD WORK. CONTRACTOR SHALL VERIFY IN FIELD EXISTING SERVICES PRIOR TO TIE-IN.
- 5. CONTRACTOR SHALL COORDINATE WITH OWNER TO SCHEDULE ANY UTILITY SHUTDOWNS PROVIDE TEMPORARY CONNECTIONS AS REQUIRED TO MAINTAIN ALL NECESSARY SERVICES.
- 6. IF REQUIRED, CONTRACTOR SHALL COORDINATE WITH OWNER TO DETERMINE THE SALVAGE VALUE OF DEMOLISHED ITEMS. RECYCLABLE ITEMS WITHOUT SALVAGE VALUE SHALL BE PRESENTED TO RECYCLING FACILITY.
- 7. WHERE WALLS, FLOORS OR CEILING ARE TO BE DEMOLISHED, ALL MATERIAL, SURFACE OR FLUSH MOUNTED THEREON SHALL BE REMOVED UNLESS INDICATED OR REQUIRED TO REMAIN TO SERVE FIXTURES/EQUIPMENT.





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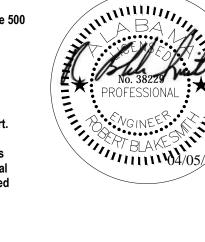
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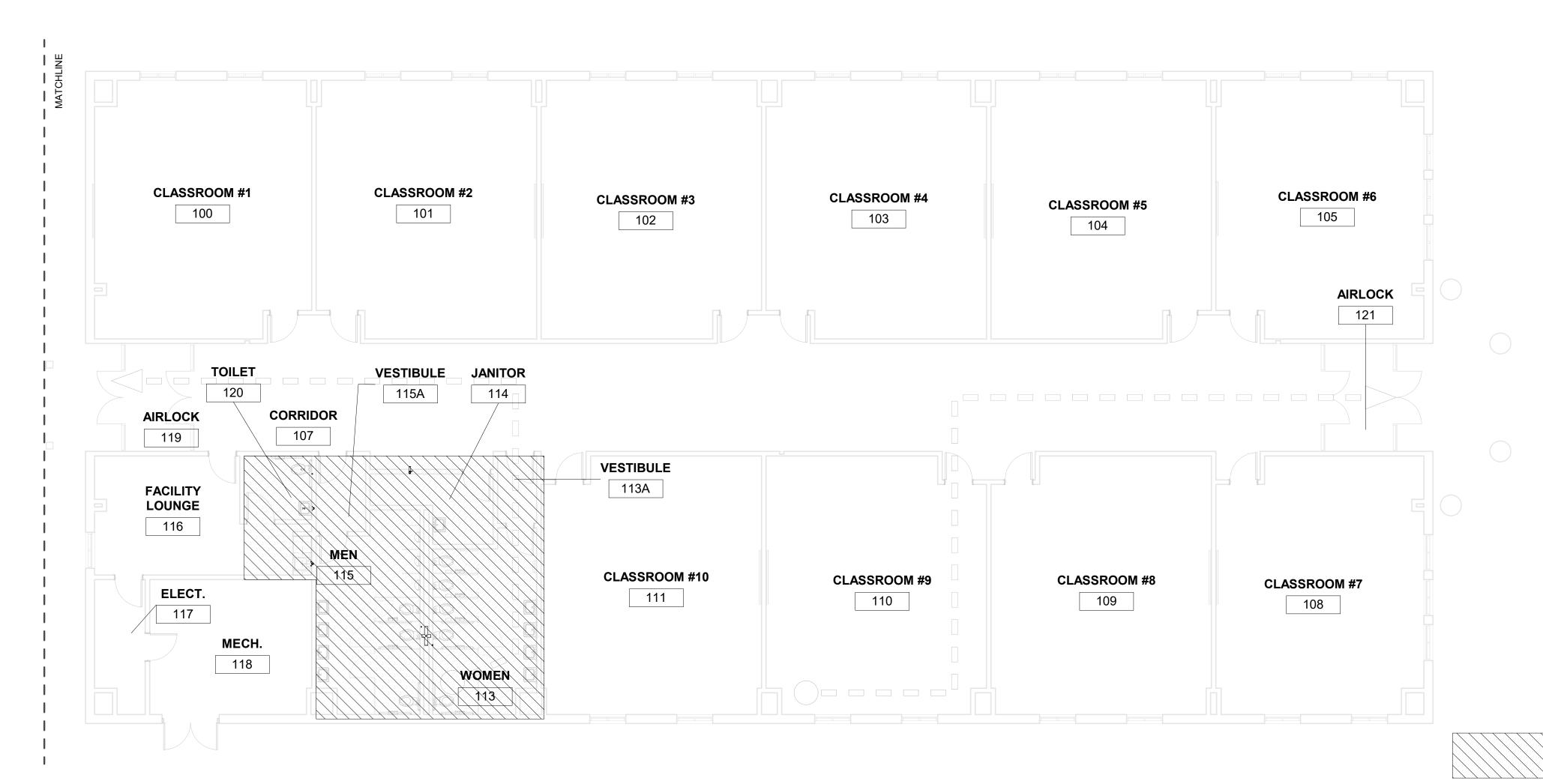
Dwg. Coord.: WD Tech. Coord.: VT PLUMBING - PARKER DEMO FLOOR PLAN

**GENERAL NOTES:** 

 VERIFY THE FIRE ALARM CONTRACTOR IS CERTIFIED AND HOLDS A PERMIT ISSUED BY THE STATE OF ALABAMA FIRE MARSHAL OFFICE TO PERFORM SUCH SERVICES.

120 VESTIBULE 115A FACILITY LOUNGE 116 WOMEN 115 113

PLUMBING - ENLARGED RESTROOM PLAN - PARKER ANNEX BLDG



**AREA OF NEW WORK** 

EXISTING PLUMBING FIXTURES TO BE REPLACED IN PLACE ON EXISTING ROUGH-IN. REPLACE STOPS AND SUPPLY HOSES WITH NEW. SEE ARCHITECTURAL DRAWINGS FOR ELEVATIONS/FIXTURE HEIGHTS.

1 P2.00 PLUMBING - LEVEL 1 NEW FLOOR PLAN - PARKER ANNEX BLDG

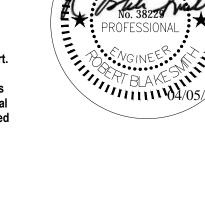
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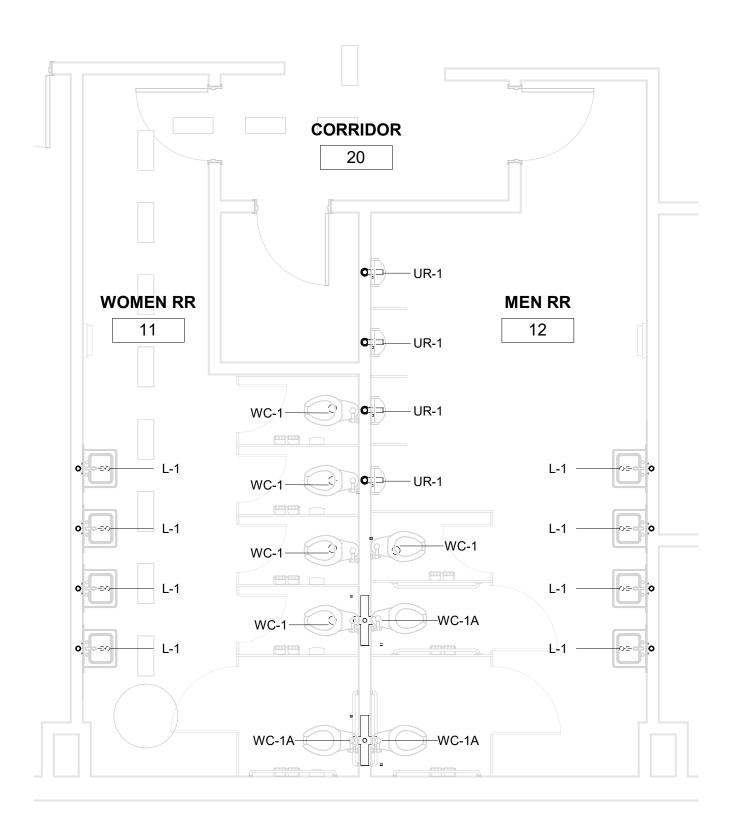
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2022024 Dwg. Coord.: WD Tech. Coord.: VT P2.00 PLUMBING - PARKER ANNEX FLOOR PLAN

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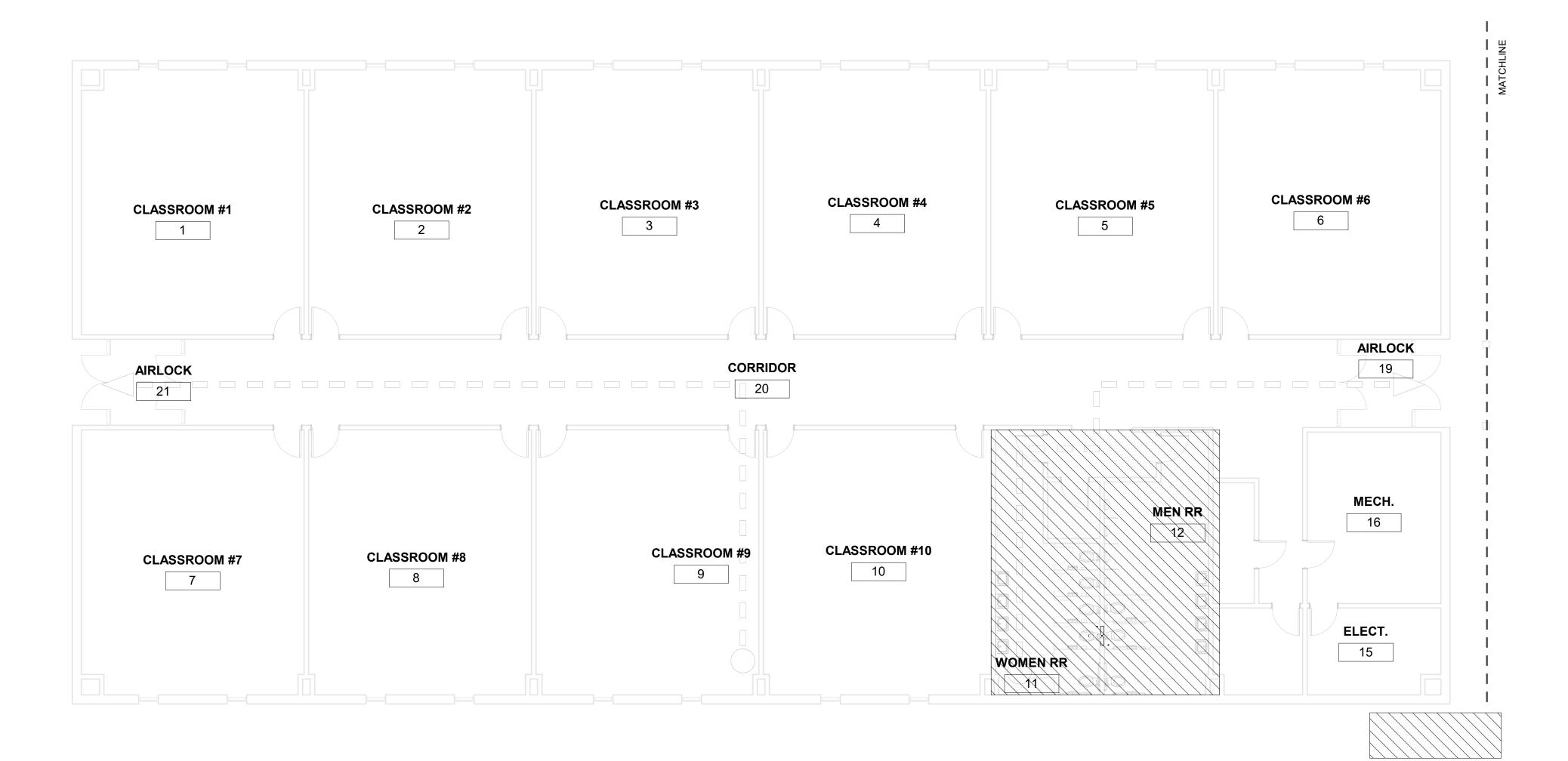
**GENERAL NOTES:** 

1. VERIFY THE FIRE ALARM CONTRACTOR IS CERTIFIED AND HOLDS A PERMIT ISSUED BY THE STATE OF ALABAMA FIRE MARSHAL OFFICE TO PERFORM SUCH SERVICES.



PLUMBING - ENLARGED RESTROOM PLAN - PARKER BLDG

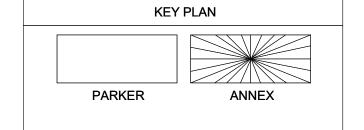
1/4" = 1'-0"



1 PLUMBING - LEVEL 1 NEW FLOOR PLAN - PARKER BLDG - DW 1/8" = 1'-0"

**AREA OF NEW WORK** 

EXISTING PLUMBING FIXTURES TO BE REPLACED IN PLACE ON EXISTING ROUGH-IN. REPLACE STOPS AND SUPPLY HOSES WITH NEW. SEE ARCHITECTURAL DRAWINGS FOR ELEVATIONS/FIXTURE HEIGHTS.



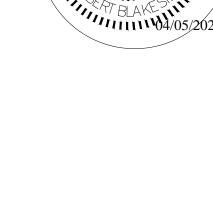
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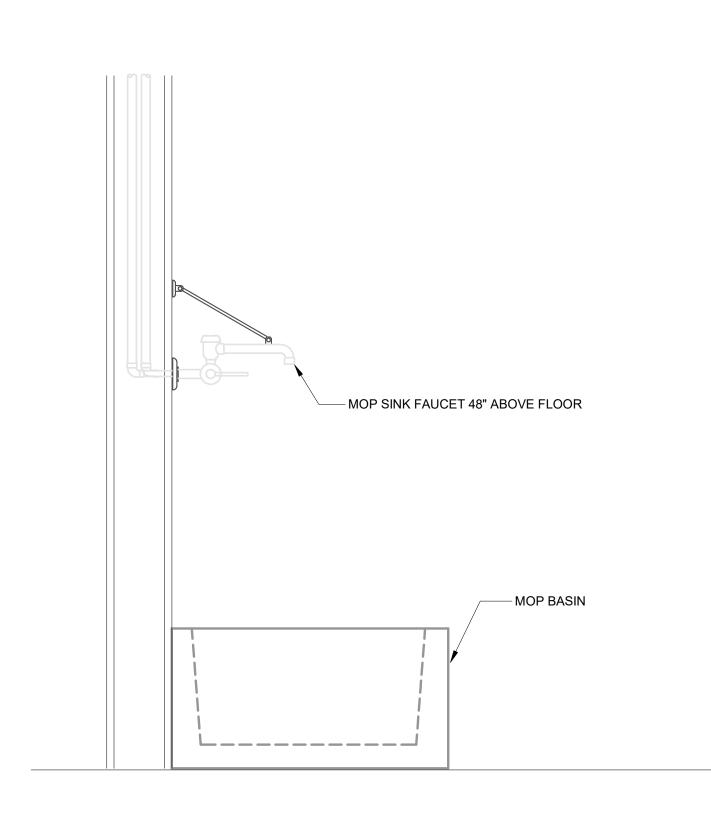


PARKER BUILDING
RENOVATION
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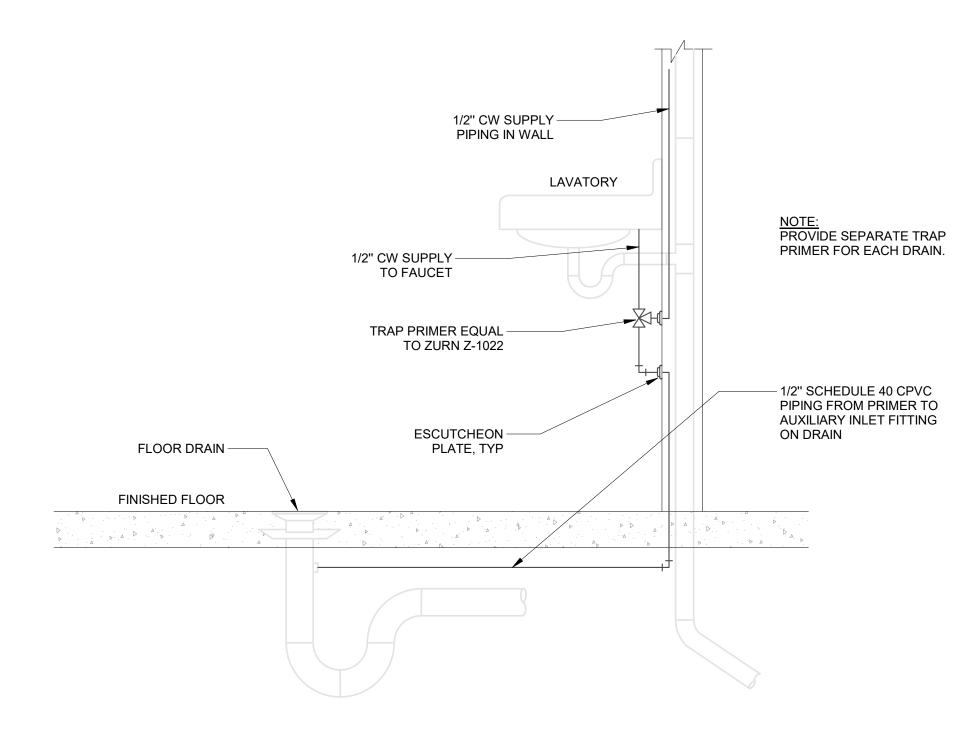
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2022024 Dwg. Coord.: WD Tech. Coord.: VT P2.02 PLUMBING - PARKER FLOOR PLAN

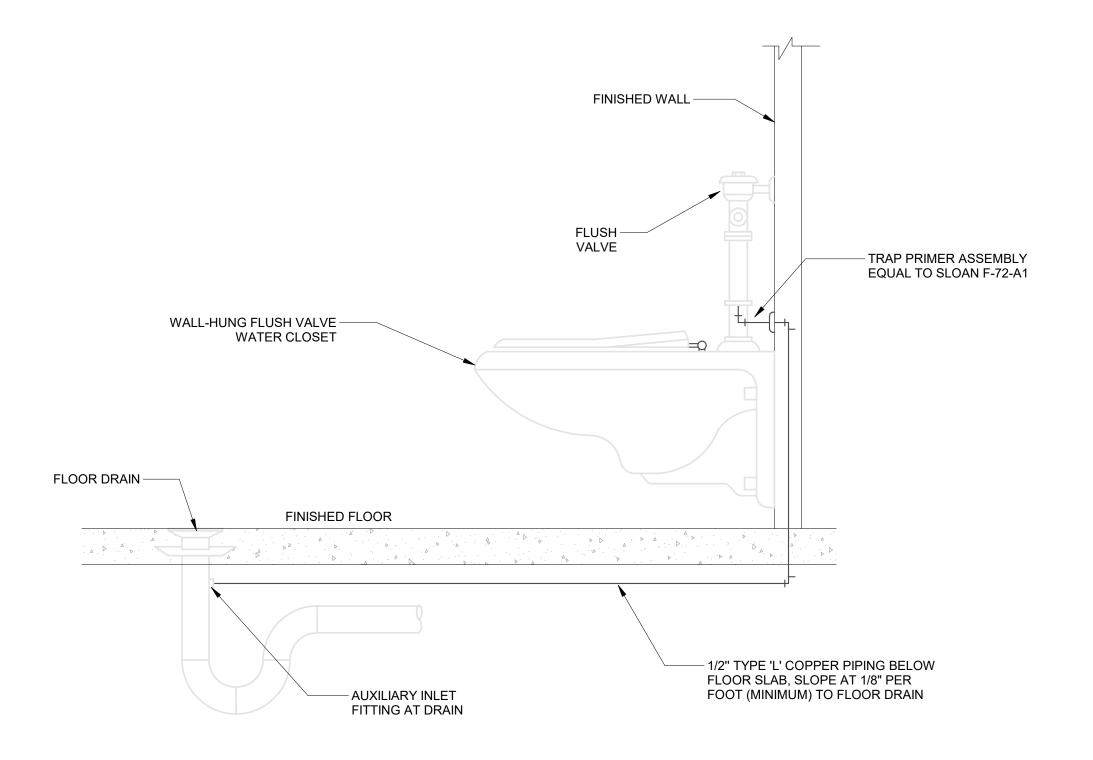
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1 MOP SINK DETAIL
P3.00 NTS



2 FL DRAIN TRAP PRIMER (WALL MT SINK)
P3.00 NOT TO SCALE



3 FL DRAIN TRAP PRIMER (WALL MT WC)
P3.00 NOT TO SCALE

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# DATE

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**CHANGE DESCRIPTION** 

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